



TOWN OF PAONIA
FRIDAY, APRIL 30, 2021
PLANNING COMMISSION MEETING AGENDA
1:00 PM

IN-PERSON MEETING AT 214 GRAND AVENUE COMMUNITY ROOM

APPROPRIATE FACE COVERINGS ARE REQUIRED WHILE INSIDE THE BUILDING

Roll Call

Approval of Agenda

New Business

1. Regular Minutes – February 18, 2021 Work Session & April 16, 2021
2. Appointment of New Commission Chair
3. Mattingly - Clark's End Variance Application
4. Ordinance -TBD Accessory Dwelling Units

Adjournment

I. RULES OF PROCEDURE

Section 1. Schedule of Meetings. Regular Board of Trustees meetings shall be held on the second and fourth Tuesdays of each month, except on legal holidays, or as re-scheduled or amended and posted on the agenda prior to the scheduled meeting.

Section 2. Officiating Officer. The meetings of the Board of Trustees shall be conducted by the Mayor or, in the Mayor's absence, the Mayor Pro-Tem. The Town Clerk or a designee of the Board shall record the minutes of the meetings.

Section 3. Time of Meetings. Regular meetings of the Board of Trustees shall begin at 6:30 p.m. or as scheduled and posted on the agenda. Board Members shall be called to order by the Mayor. The meetings shall open with the presiding officer leading the Board in the Pledge of Allegiance. The Town Clerk shall then proceed to call the roll, note the absences and announce whether a quorum is present. Regular Meetings are scheduled for three hours, and shall be adjourned at 9:30 p.m., unless a majority of the Board votes in the affirmative to extend the meeting, by a specific amount of time.

Section 4. Schedule of Business. If a quorum is present, the Board of Trustees shall proceed with the business before it, which shall be conducted in the following manner. Note that all provided times are estimated:

- (a) Roll Call - (5 minutes)
- (b) Approval of Agenda - (5 minutes)
- (c) Announcements (5 minutes)
- (d) Recognition of Visitors and Guests (10 minutes)
- (e) Consent Agenda including Approval of Prior Meeting Minutes (10 minutes)
- (f) Mayor's Report (10 minutes)
- (g) Staff Reports: (15 minutes)
 - (1) Town Administrator's Report
 - (2) Public Works Reports
 - (3) Police Report
 - (4) Treasurer Report
- (h) Unfinished Business (45 minutes)
- (i) New Business (45 minutes)
- (j) Disbursements (15 minutes)
- (k) Committee Reports (15 minutes)
- (l) Adjournment

* This schedule of business is subject to change and amendment.

Section 5. Priority and Order of Business. Questions relative to the priority of business and order shall be decided by the Mayor without debate, subject in all cases to an appeal to the Board of Trustees.

Section 6. Conduct of Board Members. Town Board Members shall treat other Board Members and the public in a civil and polite manner and shall comply with the Standards of Conduct for Elected Officials of the Town. Board Members shall address Town Staff and the Mayor by his/her title, other Board Members by the title of Trustee or the appropriate honorific (i.e.: Mr., Mrs. or Ms.), and members of the public by the appropriate honorific. Subject to the Mayor's discretion, Board Members shall be limited to speaking two times when debating an item on the agenda. Making a motion, asking a question or making a suggestion are not counted as speaking in a debate.

Section 7. Presentations to the Board. Items on the agenda presented by individuals, businesses or other organizations shall be given up to 5 minutes to make a presentation. On certain issues, presenters may be given more time, as determined by the Mayor and Town Staff. After the presentation, Trustees shall be given the opportunity to ask questions.

Section 8. Public Comment. After discussion of an agenda item by the Board of Trustees has concluded, the Mayor shall open the floor for comment from members of the public, who shall be allowed the opportunity to comment or ask questions on the agenda item. Each member of the public wishing to address the Town Board shall be recognized by the presiding officer before speaking. Members of the public shall speak from the podium, stating their name, the address of their residence and any group they are representing prior to making comment or asking a question. Comments shall be directed to the Mayor or presiding officer, not to an individual Trustee or Town employee. Comments or questions should be confined to the agenda item or issue(s) under discussion. The speaker should offer factual information and refrain from obscene language and personal attacks.

Section 9. Unacceptable Behavior. Disruptive behavior shall result in expulsion from the meeting.

Section 10. Posting of Rules of Procedure for Paonia Board of Trustees Meetings. These rules of procedure shall be provided in the Town Hall meeting room for each Board of Trustees meeting so that all attendees know how the meeting will be conducted.

II. CONSENT AGENDA

Section 1. Use of Consent Agenda. The Mayor, working with Town Staff, shall place items on the Consent Agenda. By using a Consent Agenda, the Board has consented to the consideration of certain items as a group under one motion. Should a Consent Agenda be used at a meeting, an appropriate amount of discussion time will be allowed to review any item upon request.

Section 2. General Guidelines. Items for consent are those which usually do not require discussion or explanation prior to action by the Board, are non-controversial and/or similar in content, or are those items which have already been discussed or explained and do not require further discussion or explanation. Such agenda items may include ministerial tasks such as, but not limited to, approval of previous meeting minutes, approval of staff reports, addressing routine correspondence, approval of liquor licenses renewals and approval or extension of other Town licenses. Minor changes in the minutes such as non-material Scribner errors may be made without removing the minutes from the Consent Agenda. Should any Trustee feel there is a material error in the minutes, they should request the minutes be removed from the Consent Agenda for Board discussion.

Section 3. Removal of Item from Consent Agenda. One or more items may be removed from the Consent Agenda by a timely request of any Trustee. A request is timely if made prior to the vote on the Consent Agenda. The request does not require a second or a vote by the Board. An item removed from the Consent Agenda will then be discussed and acted on separately either immediately following the consideration of the Consent Agenda or placed later on the agenda, at the discretion of the Board.

III. EXECUTIVE SESSION

Section 1. An executive session may only be called at a regular or special Board meeting where official action may be taken by the Board, not at a work session of the Board. To convene an executive session, the Board shall announce to the public in the open meeting the topic to be discussed in the executive session, including specific citation to the statute authorizing the Board to meet in an executive session and identifying the particular matter to be discussed “in as much detail as possible without compromising the purpose for which the executive session is authorized.” In the event the Board plans to discuss more than one of the authorized topics in the executive session, each should be announced, cited and described. Following the announcement of the intent to convene an executive session, a motion must then be made and seconded. In order to go into executive session, there must be the affirmative vote of two thirds (2/3) of Members of the Board.

Section 2. During executive session, minutes or notes of the deliberations should not be taken. Since meeting minutes are subject to inspection under the Colorado Open Records Act, the keeping of minutes would defeat the private nature of executive session. In addition, the deliberations carried out during executive session should not be discussed outside of that session or with individuals not participating in the session. The contents of an executive session are to remain confidential unless a majority of the Trustees vote to disclose the contents of the executive session.

Section 3. Once the deliberations have taken place in executive session, the Board should reconvene in regular session to take any formal action decided upon during the executive session. If you have questions regarding the wording of the motion or whether any other information should be disclosed on the record, it is essential for you to consult with the Town Attorney on these matters.

IV. SUBJECT TO AMENDMENT

Section 1. Deviations. The Board may deviate from the procedures set forth in this Resolution, if, in its sole discretion, such deviation is necessary under the circumstances.

Section 2. Amendment. The Board may amend these Rules of Procedures Policy from time to time.

AGENDA SUMMARY FORM



Regular Minutes – February 18, 2021 Work Session & April 16, 2021

Summary:

Large empty rectangular box for writing the summary.

| | | | |
|--------------|---------------|-----------------|----------------|
| Vote: | Barb Heck: | Karen Budinger: | Monica Foguth: |
| Lucy Hunter: | Mary Bachran: | | |

Minutes
Town Board, Planning & Zoning Work Session
Town of Paonia, Colorado
February 18, 2021

RECORD OF PROCEEDINGS

The Special Meeting held Thursday, February 18, 2021, was called to order at 4:13 PM by Mayor Mary Bachran, followed by the Pledge of Allegiance.

Trustees present were as follows:

Mayor Bachran
 Trustee Budinger
 Trustee Knutson
 Trustee Meck
 Trustee Pattison

Town Commissioners were as follows

Chairperson Heck-Planning & Zoning
 Commissioner Hunter-Planning
 Commissioner Foguth-Planning
 Commissioner Markle-Zoning

Town Staff present were as follows:

Administrator/Town Clerk Corinne Ferguson
 Deputy Clerk Amanda Mojarro
 Building Inspector Dan Reardon

A quorum was present, and Mayor Bachran proceeded with the meeting.

Town Board, Planning & Zoning Work Session:

Town Board, Planning & Zoning Work Session preceded with discussion and review of the proposed Municipal Building Code on Chapter 18 update:

Board & Staff discussion points:

- Building Inspector Dan Reardon's made his suggestions and recommendations and explained each of the appendixes that were in the summary notes.
- Planning Commission Chairperson Barb Heck suggested adding language that would prevent foul language on political signs. Trustee Budinger suggested amending the period political sign can go up and come down.
 - Adding a definition of what temporary signs are.
 - Admin/Town Clerk will check with Town Attorney regarding political signs.
- Discussion and all who attended were in favor of having a Board of Appeals.
 - Admin/Town Clerk Ferguson stated that the Town Attorney is drafting language for a Board of Appeals.
- Discussion ensued about updating Chapter 18 Article 7.
- Discussion and suggestion from Trustee Pattison to clarify the language and set the fee by resolution under (6) section 105.2 number 9 regarding fees, and suggested donating a copy of the Municipal Town code to the Paonia Public Library
- Discussion and suggestion to changing the language under Section 18-20-20 first paragraph which read during regular office hours and change it to read during Town office hours and have it consistent throughout the code.
- Suggestion to adopting the IRC which is regulating single-family and duplex developments and the IBC which is regulating commercial buildings.
- Discussed and suggestions were to look into sections 18,12, and 10 further.
- Section 7,8 and 9 are more specific towards the building area.
- Building Inspector Reardon suggested adding a caveat to the section where it talks about the foundation of the structure stating that an engineer is required for the foundation.
- Suggestion on numbers 16-18 stating to defer to what the State Statute has. Building Inspector Reardon suggested having these in the code.
- Suggestion to remove language section 18-5-50 (b)
- The word vehicle under the signage section letter b should be removed.
- The language under Article 10 section 18-10-10 needs to be defined and referenced with the Town's variance rules.

- Language under section 18-10-20 is not clear. Admin/Town Clerk Ferguson will look into it.
- Language under section 18-10-40 directing the reader to see section 17-4-20 of chapter 17 of the code is specific to subdivisions.
- Suggestions under Article 12-site plan review requirements number 7-9 need to be looked into.
- Suggestion to delay adopting appendix L adoption of the fee schedule.

Recesses at 5:29

Returned to open meeting at 6:00 pm

Master Plan Update

Discussion ensued by the Admin/Town Clerk Ferguson in feedback and consensus from the Planning Commission and the Town Board regarding the Master Plan.

- The Master Plan is modeled after the Town of Ridgeway.
- The suggestion was to edit the document into a readable document.
- Include a climate change section.
- Include equality section of resources.
- Strikeout corkiness of people and not liable or describing people throughout the document.
- Adding the organic food grower's section.
- Trustee Meck volunteered to edit the document into a more readable one.
- Both the Board and Planning Commission are in favor of the direction the Master Plan is going.

Public comments:

A community member was concerned with not having an emergency exit route section.

The meeting was adjourned by Mayor Bachran at 6:26 pm

Amanda Mojarro, Deputy Clerk

Mary Bachran, Mayor

Minutes
Planning Commission Meeting
Town of Paonia, Colorado
April 16, 2021

RECORD OF PROCEEDINGS

The Regular Meeting of the Paonia Planning Commission was called to order on Friday, April 16, 2021 at 1:02 pm by Barb Heck, Chairperson. Formal Video Record at <https://www.youtube.com/watch?v=k92qTg6i4O4>

Roll Call

Commission members present were as follows: Chairperson Barb Heck, Commissioner Lucy Hunter, Mayor Mary Bachran and Trustee Karen Budinger. Commissioner Monica Foguth was absent.

Also present were Town Administrator/Town Clerk Corinne Ferguson and Deputy Town Clerk Amanda Mojarro.

A quorum was present, and Chairperson Heck proceeded with the meeting.

Approval of Agenda

Motion to approve agenda as presented by Mayor Bachran, seconded by Commissioner Hunter. Motion carried.

Unfinished Business

Minutes: June 22, 2020:

Motion to approve minutes as presented by Commissioner Hunter Seconded by Trustee Budinger. Motion carried.

Mayor Bachran & Trustee Budinger Abstained from voting.

Minutes were tabled until the next meeting.

New Business.

Riverbank Neighborhood Subdivision Application:

- Commissioner Hunter recused herself from the discussion.
- Administrator Ferguson read her recommendations that were included in her report in the packet.

Public Hearing:

Chairperson, Barb Heck opened the Public Comment at 1:10 pm.

Ivo Renkema, Riverbank’s developer was absent, and Frederick Zimmer was the representative on his behalf. Frederick Zimmer addressed the publics and the Boards questions.

Publics concerns & comments:

- A Public member was concerned with what will happen to their ditch lateral. The other concern was regarding the wetlands and the wildlife located on lots 8, 10, 12 and 14.
- The representative stated that they will follow the ditches recommendation and stated that the surveyor did not mark or indicate the existence of wetlands in the lots mentioned by the public member.
- A public member was concerned with the bond, water tap and the moratorium that is in place and conservation easements. A statement regrading their concerns was read and was added to the permanent packet.
- A public members were concerned with the R-2 zoning. Representative stated that they were not aware of the R-2 zoning issue and that the developer would consider re-zoning.

Chairperson, Barb Heck closed the Public Comment.

Board comments:

- Concerned that the developer was not present by phone to address the public and boards questions.
- Keeping the restrictions on the curb and gutter.
- R-2 zoning – would need to go through the re-zoning contingent upon approval.
- Road variance
- A concern about an agriculture provision in the document stating that the unit owner would have agree not to complain about any noises, smells or about the agriculture law in the State of Colorado.

Motion by Mayor Bachran, seconded by Trustee Budinger to recommend to the Board of Trustees the approval of the proposed staff recommendations for Variance 1: Road width and length – Section 17-4-40 (g) cul-de-sac length and Section 17-4-50 paved area or right-of-way: **The Road length is 1,700 ft. Code requirement is no more than 500 ft. Staff recommendation to approve variance – to recommend approval of modification to emergency turn around location to area between Riverbank lots 2 & 5 which currently have a 35 ft shared utility and ditch easement. This more centrally locates the emergency turn-around. At its current location it is approximately 700 ft beyond the maximum allowed road length.** Motion carried.

Motion by Mayor Bachran, seconded by Trustee Budinger to recommend to the Board of Trustees to accept staff recommendation to deny variance 2: Change in typical road section – Section 17-4-40 (j): **to recommend deferring installation of sidewalk, curb, and gutter until such time as 50% of the parcels are sold and/or developed. Storm water runoff should be**

collected at intermittent collection boxes and piped to detention ponds identified on the plan (see C3.0). Motion carried.

Motion by Chairperson Heck, seconded Mayor Bachran to recommend to the Board to continue with R-2 zoning and add restrictions to 2 livable units and restrict multi units. Vote of those present was Trustee Budinger & Mayor Bachran voted Nay. Chairperson Heck voted Aye. Motion failed.

Discussion: Public members suggested consulting the Town Attorney's and suggested to re-zone to R-1 and suggested investigating further into the wetlands issue.

Motion by Mayor Bachran, seconded Trustee Budinger to recommend to the Board to re-zone R-1. Motion carried.

Motion by Mayor Bachran, seconded Trustee Budinger to recommend to the Board that only lots 1 & 2 be developed until the water moratorium is lifted. Motion carried.

Motion by Mayor Bachran, seconded Trustee Budinger to recommend to the Board to accept the Riverbank subdivision with the stipulations as outlined in the previous motion. Motion carried.

Motion by Mayor Bachran, seconded Trustee Budinger to recommend to the Board to have the applicant provide information regarding the wetlands status and bring it before the Board.

Adjournment

Chairperson Heck adjourned the meeting at 2:45 pm

Amanda Mojarro, Deputy Clerk

Barb Heck, Chairperson

AGENDA SUMMARY FORM



Appointment of New Commission Chair

Summary:

Chairperson Heck wishes to remain on the planning commission but no longer sit as chair. The Board may appoint a new chair, and alternate in the chairs absence.

| | | | |
|--------------|---------------|-----------------|----------------|
| Vote: | Barb Heck: | Karen Budinger: | Monica Foguth: |
| Lucy Hunter: | Mary Bachran: | | |

AGENDA SUMMARY FORM



Mattingly - Clark's End Variance Application

Summary:

Review and recommendations regarding variance application for road grade for the Clark's End subdivision cul-de-dac.

| | | | |
|--------------|---------------|-----------------|----------------|
| Vote: | Barb Heck: | Karen Budinger: | Monica Foguth: |
| Lucy Hunter: | Mary Bachran: | | |



ADMINISTRATOR REPORT

TO: PLANNING COMMISSION

FROM: *CORINNE FERGUSON*

SUBJECT: MATTINGLY – CLARK’S END ROAD VARIANCE

Odisea L.L.C. on behalf of Lynn Mattingly submitted a variance request letter to me February 17, 2021 and an application for a variance was subsequently presented for review March 8, 2021. The application was deemed substantially complete March 10, 2021 and the applicant was notified via telephone.

See below:

Application, Process, and and Review Per Municipal Code Chapter 16 and 18.

Complete application packet and fee payment. – Reviewed as submitted, deemed substantially complete 03/10/2021.

Deadlines for publication and notifications met.

Having reviewed and confirmed all requirements and information provided, it is my recommendation to the Planning Commission and Board of Trustees the approval of Clark’s End Subdivision cul-de-sac variance request:

Variance: Municipal Code Chapter 18, Streets, Minimum Design Standards – Curb, Gutter, Sidewalks and Streets – link here:

https://library.municode.com/co/paonia/codes/municipal_code?nodeId=APPENDIX_APXDSTCOSP_STMI_DESTURGUSIST

The Street Layout portion of chapter 18 defines the maximum grade for any street to be 7%. Due to the location of the updated water and sewer lines installed by the Town, the applicant requests a variance of .5% to increase the grade of the cul-de-sac to 7.5%. This variance is recommended as to facilitate the installation of the approved cul-de-sac and avoid any disturbance of the Towns infrastructure. Following review it is my opinion the variance request meets the prerequisites for granting variances as provided below.

Additional information:

1 | Page Riverbank
Mattingly Variance
Application, April 2021

The only clear guidance for the review of a variance is included in Chapter 18, Article 7, Division 2, Section 18-7-240 and has been historically used for the review and recommendation of variance requests. The review criteria are as follows:

(j) Prerequisites for granting variances:

(1) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.

(2) Variances shall only be issued upon:

a. Showing a good and sufficient cause;

b. A determination that failure to grant the variance would result in exceptional hardship to the applicant; and

c. A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public or conflict with existing local laws, resolutions or ordinances.

Admin Report Attachments:

Attachment A: Streets, Minimum Design Standards – Curb, Gutter, Sidewalks and Streets

STREETS, MINIMUM DESIGN STANDARDS - CURB, GUTTER, SIDEWALKS & STREETS**General.**

All curb, gutter, sidewalk and street construction design, rights-of-way widths and street widths shall conform to the minimum requirements enumerated on the town typical drawings and the requirements of the subdivision regulations of the Town of Paonia. Care shall be taken to ensure continuity of grades, widths, etc., of proposed, existing and future installations. Deviations from these standards and specifications may be permitted when, in the opinion of the Town, the quality of the finished work would not vary materially from the intent of these requirements.

Plan Approval.

Plans for proposed street construction should be submitted on twenty-four-by-thirty-six-inch (24" x 36") sheets to the Town for approval. An overall plan shall be submitted along with individual plan and profile sheets. The plans shall show lots and blocks, shall give centerline street grades and show vertical curves and the original ground profile. Grades shall be indicated for the curb and gutter for each side of the street; elevations of curb and gutter at the ends of each block shall be indicated. Cross-pans shall be indicated on the street plan. The roadway width and type of curb, gutter and sidewalk shall be indicated for each street.

Street Construction.

All streets shall be paved except if otherwise approved by the Town board of trustees for residential streets.

When asphalt pavement is to be provided, minor residential streets serving fewer than ten (10) lots shall have a minimum of six (6) inches of Class 6 base course with prime coat and a three-inch asphalt concrete surface. Other residential and collector streets shall have a minimum of six (6) inches of Class 6 base course with prime and four (4) inches of asphalt concrete surface. An engineer, based on traffic load and soils conditions, shall design base and surface treatment for arterial streets.

All paved streets shall have curb, gutter and sidewalk on both sides. The curb, gutter and sidewalk shall conform to Town standard drawings and specifications for that work.

Street widths shall be in accordance with Town Subdivision Regulations

Street Layout.

Street widths shall conform to Town standard drawings for the type of street being designed. Gravel streets shall have a cross-slope of three percent (3%), and paved streets shall have at least two percent (2%) cross-slope.

The minimum grade for all streets is one-half percent (0.5%). The maximum grades shall not exceed seven percent (7%) on any street and five percent (5%) on collector streets. Minimum length of vertical curves for all streets shall be three hundred (300) feet, except that where the algebraic change in grades is less than two percent (2%), vertical curves may be omitted. On local streets the minimum radius of horizontal curves shall be one hundred (100) feet and one hundred fifty (150) feet on all other streets.

In special topographic conditions, the Town may allow deviations from these requirements in order to provide the Town with better drainage or a better intersection design.

Multiple tee intersections shall have the leg of the tees at least one hundred twenty-five (125) feet apart centerline to centerline to facilitate a reasonable line of sight between the intersections. If the width of the street rights-of-way is more than sixty (60) feet, the separation of the tees shall be increased proportionally.

Sidewalks shall be located six (6) inches outside the private property line unless otherwise approved by the Town.

Attachment A

Service Line Installation.

All service lines shall be installed (in accordance with the appropriate Town standards) prior to paving any street.

Drainage.

All streets shall be designed to provide continuous surface drainage directed to storm drain inlets and drainage courses. Grade shall permit flow without ponding. A check shall be made to be sure of continuity of drainage design between the proposed construction and existing or future construction. In no case shall surface drainage be permitted to be disposed of overland except by approved storm drainage facilities. The developer shall remedy any problems that are created by the addition of storm drainage from his or her subdivision to any existing drainage.

Culverts shall only be installed where V-ditches, gutters and valley pans will not carry the necessary flow. Culverts shall be corrugated, galvanized metal with metal end sections, unless otherwise authorized by the Town. Diameter and slope shall be based on flows. Minimum diameter in roadways shall be eighteen (18) inches, and minimum in driveways shall be twelve (12) inches.

Monumentation.

Centerline monuments shall be set at each street intersection upon completion of street construction. If an existing street is to be resurfaced, the monuments shall be restored or set as necessary. Monuments in gravel streets shall be a bar and cap set in concrete a minimum of four (4) inches and a maximum of six (6) inches below finished grade. In paved streets the bar and cap set in concrete shall be set under a valve box cover labeled survey marker with the cover set at finished grade.



PHYSICAL: 6THIRD STREET
 MAILING: P.O. BOX 1809
 PAONIA, CO 81428
 970.527.9540
 WWW.ODISEANET.COM

February 16, 2021

J. Corinne Ferguson
Town Administrator
Town of Paonia
214 Grand Avenue
Paonia, CO 81428

Re: Variance request for grade increase at South Clark Subdivision cul-de-sac

Ms. Ferguson:

As part of our submittal of construction documents for the subject project, and on behalf of Lynn Mattingly, we are requesting a variance to the maximum allowable slope of the cul-de-sac at the south end of Clark Avenue as described below.

Upon final design of the cul-de-sac we gathered invert elevations of the existing sewer pipe and as-built plans of the water line under South Clark to determine the proposed cover over those utilities. This information is now shown on our latest submittal of the construction plans for this project.

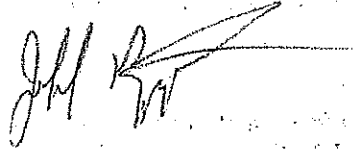
Based on the proposed cul-de-sac profile, we are proposing to increase the slope of the cul-de-sac to 7.50%, which exceeds the maximum allowable slope of 7.00%. By doing so we are maintaining the existing minimum cover over the sewer line on South Clark, which appears to be approximately 4 feet from stations 0+15 to 1+30 on our plans. By increasing the slope to 7.50% we are at or above 4 feet of cover everywhere and therefore do not believe replacing the existing sewer and water lines under the cul-de-sac is necessary.

We are assuming that the water line was installed at a depth of six feet, as noted on the as-built plans provided by the Town. We will be reducing its cover by 6" to one foot for approximately 30 feet in length near the top of the cul-de-sac. Similar to the sewer line, we do not believe this reduction in cover warrants a full replacement of the water line under the proposed cul-de-sac.

If you have any questions about the information presented here please do not hesitate to contact me anytime during business hours.



Very Respectfully,



Jeff Ruppert, P.E.
Principal

(970) 948-5744
jeff@odiseanet.com

SPECIAL REVIEW/VARIANCE APPLICATION

Name LYNN D. MATTINGLY Application Date MARON 8 2021
 Property Address TBA CLARK AVE P&Z Hearing Date 4.30.2021
 Telephone Number XXXXXXXXXX Council Hearing Date 5.11.2021

11.01 Intent. Each established zoning district is intended for a specific type or category of land use (e.g., single family dwelling in an R-1 district). However, there are certain uses, which may or may not be appropriate in a district depending on the situation. For example, the location, nature of the proposed use, character of the surrounding area, traffic capacities of adjacent streets, and potential environmental effects all may dictate that the circumstances of the development should be individually reviewed. The special review process is established to provide for these specific uses without establishing numerous separate zoning classifications. It is the intent of this chapter to provide a review of such uses so that the community is assured that the proposed uses are compatible with the location and surrounding land uses.

11.02: When Allowed. Within each zoning district, certain land uses are permitted by right, by special review or prohibited. Special review uses may be permitted in designated districts upon review by the Planning and Zoning Commission and approval by the Town Board.

11.03: Site Plan and Supporting Documents. There shall be filed with each special review application a site plan drawn to scale and an appropriate number of copies as determined by the Town Manager. The site plan shall be drawn in black ink on Mylar. Following approval by the Town Board the applicant shall submit a reproducible copy of the original site plan to the Town for the Town's permanent records.

The special review application shall include the following:

- The site plan showing the location of all buildings, structures and other improvements to be placed on the real property. A building envelope may be used in lieu of showing the exact building or structure location to allow for minor variations in the location.
- A legal description of the property, which may require a survey.
- A list of the names and addresses of all property owners within 200 ft. of the property.
- All off-street parking and loading areas.
- The location of all ways for ingress and egress to all buildings, and parking areas.
- Service and refuse collection areas.
- Major screening proposals.
- The size, shape, height and character of all signs.
- The area and location of all open space and recreation areas.
- The location and type of outdoor lighting.
- The character and type of landscaping to be provided. The landscaping shall be indicated in tabular form showing the type of plant material, minimum size and quantity. The approximate location of landscaping shall be indicated on the site plan.
- The anticipated timetable for completion. If the project is to be completed in phases, then the data for completion of each phase shall be indicated.

- All owners and lien-holders of the property shall sign the following agreement that will be placed on the original special review site plan.
- Home Owner's association Written plan approval (if applicable)

The undersigned agree that the real property described on the site plan shall be developed only in accordance with the approved special review site plan and other provisions of the zoning regulations of the Town of Paonia.

I. Site Plan

Any application for Special Review/Variance that includes a new structure or improvement to an existing structure will require a site plan. Plans may be hand drawn, but must be clearly written with accurate measurements indicated. The Site Plan may be submitted as two separate drawings or one drawing with an overlay.

II. Project Summary

Please answer only the questions that apply to your Special Review/Variance request. Any additional information, which would be beneficial in the consideration, may be noted in the "Comments" section.

- a. Reason for Special Review/Variance Requesting a variance to increase slope of the outside face to 7.5% which exceeds the maximum slope of 7.0%.
- b. Current Zoning of Property R-2
- c. What land boundary changes are necessary? NONE
- d. What addition/changes to existing buildings/structures will be made? NONE
- e. What new buildings/structures will be constructed? NONE
- f. What additions/changes in utilities will be necessary? Include water, sewer, gas, and electric. NONE
This variance protects the cover to existing sewer + water lines.
- g. Will property have Commercial/Private or Public Use? private
- h. Anticipated traffic flow and volume? N/A

i. Detail the Safety and Disabled Access accommodations? N/A

j. Detail the possible environmental impact; such as noise, lighting glare, pollutants, etc. _____

move quickly moved drainage water

Comments: _____

III. Public Notice Requirements

All property owners within 200 feet of the property being reviewed shall be notified via certified mail of a public hearing whereby the Planning and Zoning Commission shall consider this application. It is incumbent upon the applicant to request the names of the property owners from the Delta County GIS Department (970-874-2119). Please have the GIS e-mail the information to Corinne@townofpaonia.com. Applications for Special Review shall be filed at least 30 days in advance of the meeting at which they are to be considered by the Planning and Zoning Commission. Incomplete applications shall result in denial of application acceptance and returned for completion, consequentially delaying hearings.

IV. Acknowledgement to Pay Fees

This application must be completed and a fee of **\$250.00** is assessed to include preliminary costs of administrative services and initial correspondence. Additional charges will be invoiced for, publication and certified mailings to property owners within 200 feet of said property. **Payment must accompany this application.**

FEES PAID HEREUNDER ARE NON-REFUNDABLE UPON SIGNING

By signing below, I acknowledge that I will be billed for any overages of costs incurred for this Special Review/Variance. I am aware that upon acceptance of the Special Review/Variance by the Planning and Zoning Commission, a building permit must be applied and approved by the Building Inspector, if applicable.

SIGNED 

PRINTED NAME LYNN D MATTINGLY DATE: March 8 2021

Clerks Acceptance  DATE 3.10.21

CLARK'S END MINOR SUBDIVISION

PAONIA, COLORADO CIVIL ENGINEERING PLAN

PROJECT INFO:

LOCATION: PAONIA, COLORADO
 SITE ADDRESS: 38.86577, -107.585995
 SITE COORDINATES: 38.86577, -107.585995
 COUNTY: DELTA
 TOWNSHIP: PAONIA
 PROPERTY INFORMATION:
 PARCEL ID#: 324505249007

LEGAL SUMMARY: CLARK RD PAONIA 81428 S: 5 T: 14S R: 91W Subdivision: B R ADDITION Lot: 7 TOTAL AC 1.43+- (N107.5', S120.4', E50.0'+97.0', W115.6') LOT 7 B R ADD. PT OF SEC 5 T14S R91W 6PM BEG AT SW COR HAMMONDS ADD PAONIA S1' E300' TO BEG N89°14' E250' S1' E150' S63°59' E96.8' S3°18' W114.6' N63°59' W150.7' N63°W110.7' N53°33' W120.4' N1' W115.6' TO BEG BK 441 PG 1524 (R-345594) BK 674 PG 134 BK 679 PG 186 BK 680 PGS 529 THRU 533 BK 693 PGS 822 & 823 R-350896 ANNEX R708364

NARRATIVE DESCRIPTION:

EXISTING CONDITIONS
 THE EXISTING SITE CONSISTS OF ONE PARCEL ZONED R-1. THE AREA TO BE DEVELOPED IS CURRENTLY A SINGLE RESIDENTIAL LOT

DEVELOPED CONDITIONS

- THE PROPOSED ONSITE DEVELOPMENT CONSISTS OF SUBDIVIDING THE EXISTING PARCEL INTO THREE LOTS WITH AN OPEN SPACE TO PROVIDE A PEDESTRIAN WALKWAY. INFRASTRUCTURE TO BE INSTALLED WILL INCLUDE CONNECTING WATER AND SANITARY SEWER SERVICES TO THE EXISTING TOWN OWNED WATER AND SANITARY SEWER UTILITY LINES. OTHER UTILITIES WILL INCLUDE ELECTRICAL, PHONE, FIBER OPTIC, AND GAS WHICH WILL ALL BE BURIED. A PAVED CUL-DE-SAC WITH ROLLOVER CURB AND GUTTER, AND SIDEWALK SHALL BE INSTALLED.

NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE

| INSTALL ROADWAY AND UTILITIES | |
|---|-----|
| ESTIMATED START DATE OF CONSTRUCTION ACTIVITIES | TBD |
| ESTIMATED END DATE OF CONSTRUCTION ACTIVITIES | TBD |

SHEET INDEX:

| Sheet List Table | |
|------------------|-----------------------------|
| Sheet Number | Sheet Title |
| C0.0 | COVER SHEET |
| C.01 | CIVIL NOTES |
| C1.0 | EXISTING SITE PLAN & DEMO |
| C2.0 | PROPOSED SITE PLAN |
| C3.0 | CLARK AVENUE PLAN & PROFILE |
| C4.0 | GRADING & DRAINAGE |
| C5.0 | UTILITY PLAN |
| C6.0 | CIVIL DETAILS |
| C6.1 | CIVIL DETAILS |

PROJECT TEAM:

PROPERTY OWNER:
 LYNN MATTINGLY
 14911 ROYAL ROAD
 PAONIA, CO 81428
 EMAIL: LDMQUILT@GMAIL.COM
 PHONE: 970.260.2460

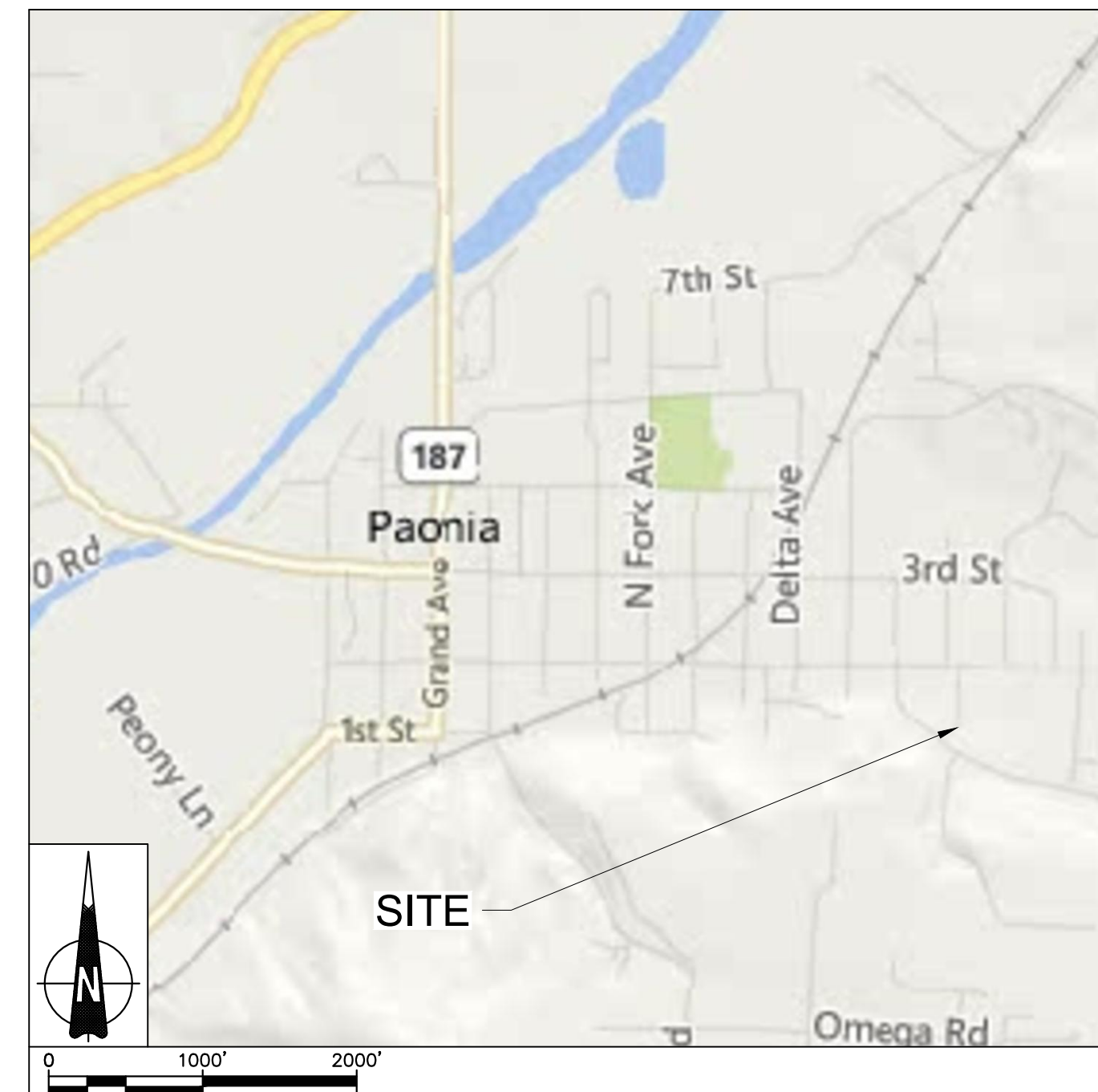
SURVEYOR:
 WILMORE & CO.
 406 GRAND AVE
 PAONIA, CO 81428
 CONTACT: KRIS CRAWFORD
 EMAIL: KRIS@WILMORELANDSURVEYING.COM
 PHONE: 970.527.4200

CIVIL ENGINEER:
 ODISEA LLC
 PO BOX 1809
 PAONIA, CO 81428
 CONTACT: JEFF RUPPERT
 EMAIL: JEFF@ODISEANET.COM
 PHONE: 970.527.9540

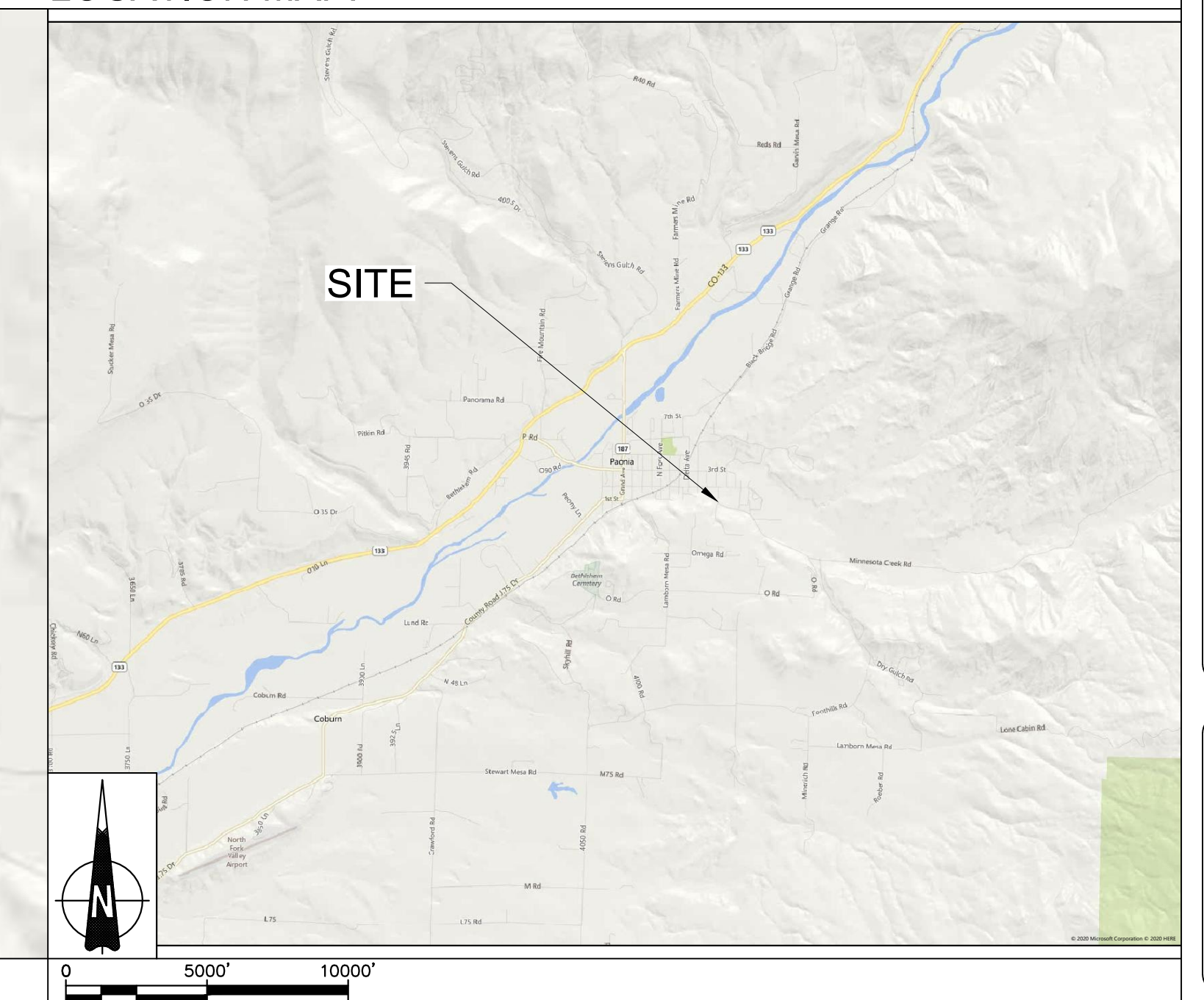
ABBREVIATIONS

| | | | |
|--------|----------------------------|---------|--------------------------------|
| AB | AGGREGATE BASE | HQW | HIGH QUALITY WATER |
| APPROX | APPROXIMATE | IPS | IRON PIPE SET |
| AVE | AVERAGE | LB | POUNDS |
| BMP | BEST MANAGEMENT PRACTICE | LF | LINEAR FEET |
| BSL | BUILDING SETBACK LINE | LP | LIGHT POLE |
| C/L | CENTERLINE | MAX | MAXIMUM |
| CMP | CORRUGATED METAL PIPE | MIN | MINIMUM |
| CONC | CONCRETE | (N) | NEW |
| CSP | CORRUGATED STEEL PIPE | O/H | OVERHEAD LINE |
| DB | DEED BOOK | OAE | OR APPROVED EQUAL |
| DIA | DIAMETER | P/L | PROPERTY LINE |
| DWG | DRAWING | PC | PROFESSIONAL CORPORATION |
| ECM | EXISTING CONCRETE MONUMENT | PG | PAGE |
| EG | EXISTING GRADE | PP | POWER POLE |
| EP | EDGE OF PAVEMENT | R | RADIUS |
| ELEC | ELECTRICAL | RD | ROAD |
| ESMT | EASEMENT | R/W | RIGHT-OF-WAY |
| ETW | EDGE OF TRAVELED WAY | R/W MON | CONCRETE RIGHT-OF-WAY MONUMENT |
| (E) | EXISTING | SD | STORM DRAIN |
| FG | FINISHED GRADE | SF | SILT FENCE/SEDIMENT FENCE |
| FIP | FOUND IRON PIPE | SP | SERVICE POLE |
| FIR | FOUND IRON ROD | SPT | SPOT ELEVATION |
| FL | FLOW LINE | STD | STANDARD |
| FO | FIBER OPTIC | SS | SANITARY SEWER |
| FR | FIBER ROLL/COMPOST SOCK | TOP | TOP OF PILE |
| FS | FINISHED SURFACE | TYP | TYPICAL |
| FT | FOOT, FEET | UNO | UNLESS NOTED OTHERWISE |

VICINITY MAP:



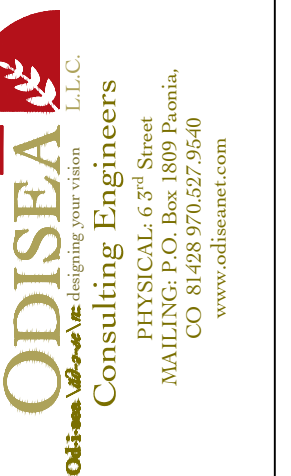
LOCATION MAP:



CLARK'S END MINOR SUBDIVISION
 PAONIA, CO 81428

COVER SHEET
 C0.0

| DESIGNED BY: | DATE: | REV: |
|--------------|-------------------|------|
| RB | 2024.02.17 | 0 |
| DWN BY: | | |
| CRD BY: | | |
| CHK BY: | | |
| APP BY: | | |
| FILE NAME: | | |
| PLOT SCALE: | AS SHOWN | |
| PLOT DATE: | February 17, 2025 | |



| SYMBOL | DESCRIPTION | DATE | APPR. |
|--------|-------------|------|-------|
| | | | |
| | | | |
| | | | |
| | | | |

GENERAL NOTES:

- 1. ALL WORK WITHIN THE CDOT RIGHT-OF-WAY, IF APPLICABLE, WILL REQUIRE A RIGHT-OF-WAY EXCAVATION & CONSTRUCTION PERMIT PER CDOT REQUIREMENTS.
2. ALL SAFETY, EROSION CONTROL AND SIGNING PLANS SHALL BE SUBMITTED AND APPROVED TO THE TOWN PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION...

WATER - GENERAL NOTES:

- 1. AT ALL POINTS OF CONNECTION OF NEW WATER MAINS TO EXISTING MAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING AND VERIFYING LOCATION OF THE EXISTING LINES PRIOR TO ANY CONSTRUCTION.
2. EXCEPT IN CASE OF AN EMERGENCY, VALVES ON THE TOWN OF PAONIA WATER SYSTEM SHALL BE OPERATED BY OR UNDER THE DIRECTION OF THE APPROPRIATE TOWN OF PAONIA PERSONNEL.
3. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET...

SANITARY SEWER - GENERAL NOTES:

- 1. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING SEWERS TO BE CONNECTED TO PRIOR TO CONSTRUCTION STAKING.
2. CONNECTION TO EXISTING TOWN OF PAONIA LINES WILL BE PERMITTED UPON INITIAL ACCEPTANCE OF THE NEW SANITARY SEWER SYSTEM.
3. MINIMUM VERTICAL SEPARATIONS BETWEEN ALL UTILITY PIPES SHALL BE EIGHTEEN (18) INCHES...

ACCEPTANCE TESTING:

- 1. TESTING OF WATER LINES, SERVICES AND APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AWWA AND THE APPLICABLE STANDARD SPECIFICATIONS OF THE TOWN.
2. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM HYDROSTATIC TESTS ON ALL WATER MAINS, LATERALS, DEAD ENDS AND SERVICE LINES...
3. PRIOR TO MAKING THE TEST, THE CONTRACTOR SHALL ADVISE THE TOWN OF THE TIME AND PLACE OF THE TEST...

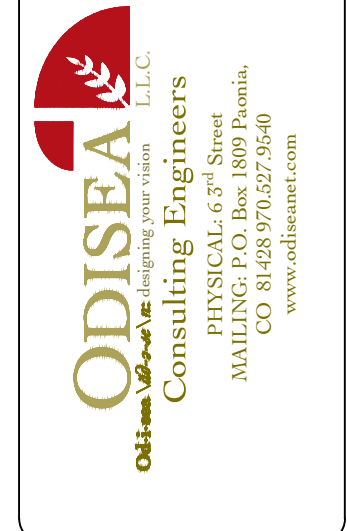
EROSION CONTROL NOTES:

- 1. THE CONTRACTOR SHALL SUBMIT AN EROSION SEDIMENT AND POLLUTION CONTROL PLAN FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK.
2. APPROVAL OF AN EROSION SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
3. THE IMPLEMENTATION OF AN ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED...

- 6. THE TESTING OF THE LINES SHALL BE DONE WITHOUT BEING CONNECTED TO EXISTING LINES UNLESS APPROVED BY THE TOWN.
7. TESTING OF SEWER LINES AND SERVICES, MANHOLES AND APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PORTIONS OF THE STANDARD SPECIFICATIONS OF THE TOWN REGARDING LAMPING, IN- AND EX-FILTRATION AND PRESSURE TESTING.
8. SANITARY SEWER LINES SHALL BE TESTED USING LOW-PRESSURE AIR TEST.
9. SANITARY SEWER MANHOLES SHALL BE TESTED FOR LEAKAGE.
10. ALL LINES SHALL BE LAMPED FROM MANHOLE TO MANHOLE.

Table with columns for REVISIONS, DATE, and DESCRIPTION.

Project information including: DESIGNED BY, DATE, REV, CD BY, PLOT SCALE, FILE NAME, and PLOT DATE.



CLARK'S END MINOR SUBDIVISION
PAONIA, CO 81428

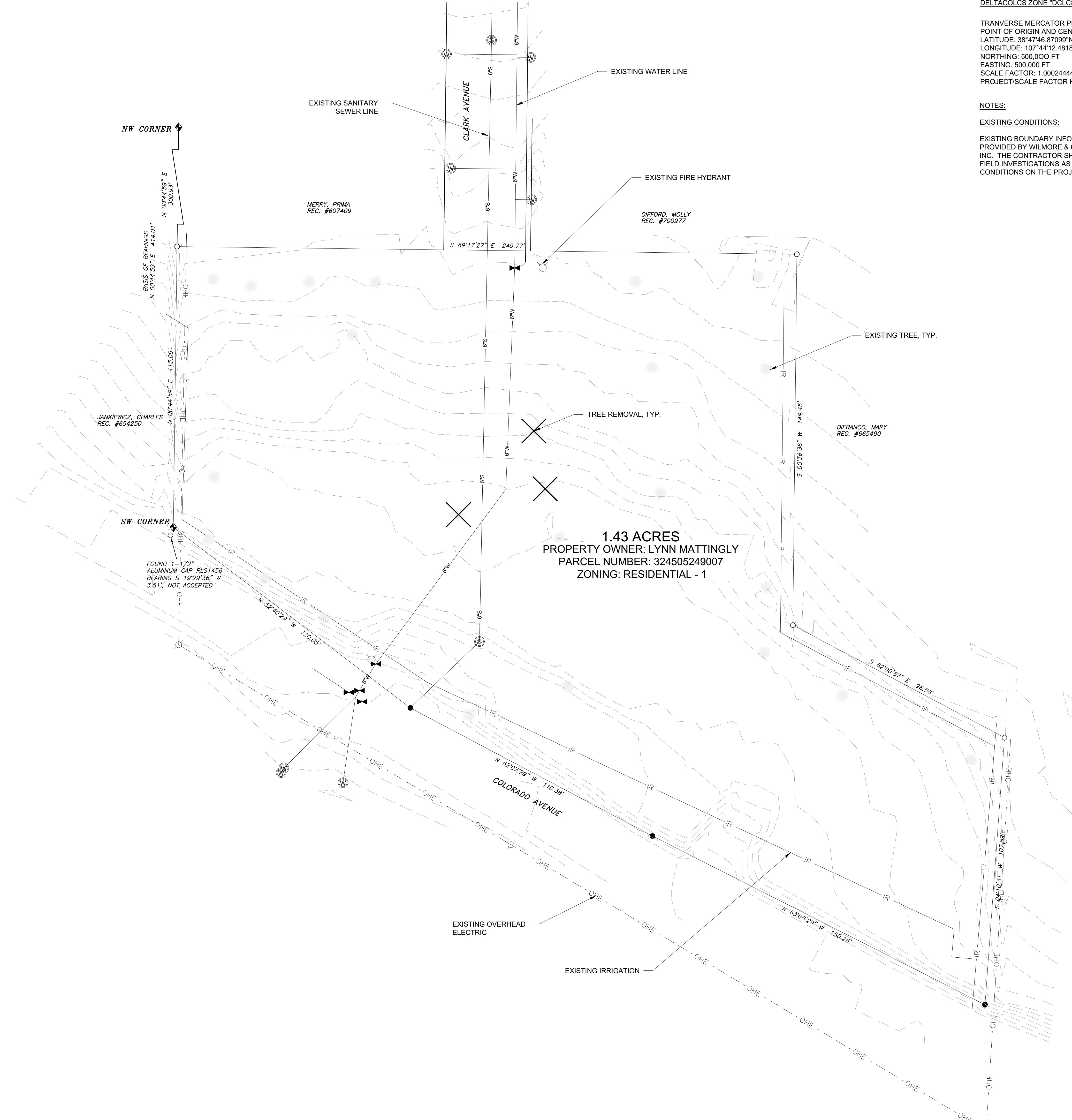
CIVIL NOTES
C.01

DELTA COLCS ZONE "DCLCS"
 TRANVERSE MERCATOR PROJECTION
 POINT OF ORIGIN AND CENTRAL MERIDIAN:
 LATITUDE: 38°47'46.87099"N
 LONGITUDE: 107°44'12.48187"W
 NORTHING: 500,000 FT
 EASTING: 500,000 FT
 SCALE FACTOR: 1.000244447
 PROJECT/SCALE FACTOR HEIGHT: 5243 FT (NAVD88)

NOTES:
EXISTING CONDITIONS:
 EXISTING BOUNDARY INFORMATION AND TOPOGRAPHY HAS BEEN PROVIDED BY WILMORE & COMPANY PROFESSIONAL LAND SURVEYING, INC. THE CONTRACTOR SHALL REVIEW PLANS AND SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE EXISTING CONDITIONS ON THE PROJECT SITE.

PROJECT LEGEND

| | | | |
|--|--------------------------------------|----------------------|---|
| | PROPERTY LINE | | |
| | RIGHT-OF-WAY | | |
| | ROADWAY CENTERLINE | | |
| | EASEMENT | | |
| | BUILDING SETBACK | | |
| | 100-YR FLOODPLAIN | | |
| | EXISTING 8\"/> | EXISTING 8\"/> | EXISTING 8\" SANITARY SEWER MAIN |
| | EXISTING 6\"/> | EXISTING 6\"/> | EXISTING MAJOR CONTOUR |
| | EXISTING 6\"/> | EXISTING 6\"/> | EXISTING MINOR CONTOUR |
| | EXISTING TREES OR TREELINE | | |
| | DRAINAGE BASIN DELINEATION | | |
| | EXISTING FIRE HYDRANT | | |
| | EXISTING WATER VALVE | | |
| | EXISTING WATER TAP STUB-OUT | | |
| | EXISTING SANITARY SEWER MANHOLE | | |
| | EXISTING SANITARY SEWER TAP STUB-OUT | | |
| | SURVEY SET 5/8\"/> | SURVEY SET 5/8\"/> | SURVEY SET 5/8\" REBAR WITH 2\" CAP |
| | SURVEY FOUND 5/8\"/> | SURVEY FOUND 5/8\"/> | SURVEY FOUND 5/8\" REBAR WITH 1.5\" CAP |
| | SURVEY FOUND 5/8\"/> | SURVEY FOUND 5/8\"/> | SURVEY FOUND 5/8\" REBAR WITH 2\" CAP |
| | PROPOSED MAJOR CONTOUR | | |
| | PROPOSED MINOR CONTOUR | | |
| | PROPOSED UNDERGROUND FIBER OPTIC | | |
| | PROPOSED UNDERGROUND TELEPHONE | | |
| | PROPOSED UNDERGROUND GAS | | |
| | PROPOSED UNDERGROUND ELECTRIC | | |
| | PROPOSED 8\"/> | PROPOSED 8\"/> | PROPOSED 8\" WATER MAIN |
| | PROPOSED 8\"/> | PROPOSED 8\"/> | PROPOSED 8\" SANITARY SEWER MAIN |
| | PROPOSED FIRE HYDRANT | | |
| | PROPOSED WATER VALVE | | |
| | PROPOSED WATER METER | | |
| | PROPOSED SANITARY SEWER MANHOLE | | |
| | PROPOSED SANITARY SEWER SERVICE | | |
| | PROPOSED WATER SERVICE | | |



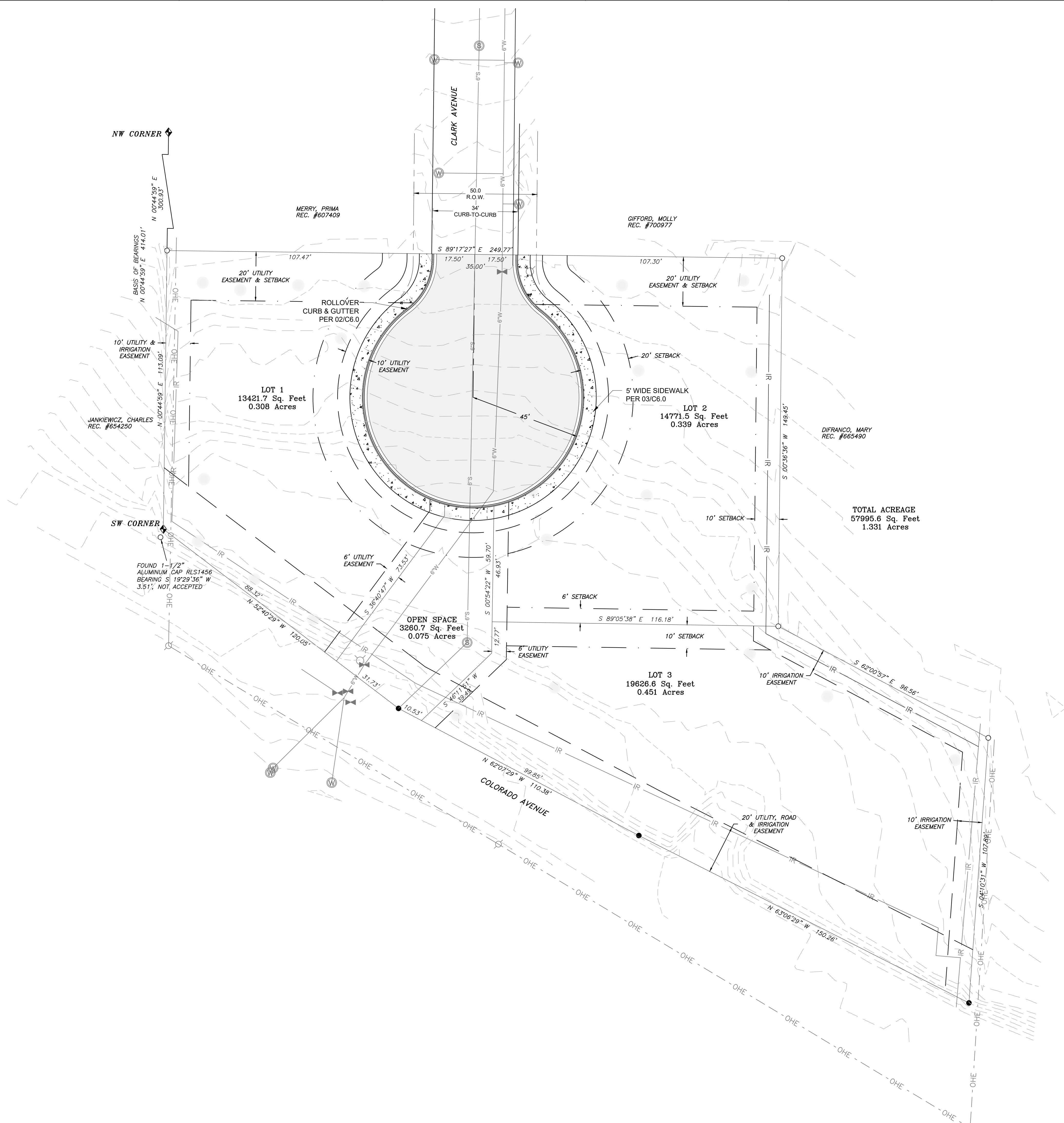
| REV | DATE | DESCRIPTION |
|-----|------------|-------------|
| 0 | 2021.02.17 | |

ODISEA
 CONSULTING ENGINEERS
 PHYSICAL 607 Street
 AVARONIA, CO 81428
 www.odisea.com

CLARK'S END MINOR SUBDIVISION
 PAONIA, CO 81428

EXISTING SITE PLAN & DEMO
C1.0

811
 Know what's below.
 Call before you dig.



PROJECT LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - ROADWAY CENTERLINE
- - - EASEMENT
- - - BUILDING SETBACK
- - - 100-YR FLOODPLAIN
- 6"W — EXISTING 8" WATER MAIN
- 6"S — EXISTING 8" SANITARY SEWER MAIN
- - - 100 — EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- ☁ EXISTING TREES OR TREELINE
- ▭ DRAINAGE BASIN DELINEATION
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER TAP STUB-OUT
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING SANITARY SEWER TAP STUB-OUT
- SURVEY SET 5/8" REBAR WITH 2" CAP
- SURVEY FOUND 5/8" REBAR WITH 1.5" CAP
- SURVEY FOUND 5/8" REBAR WITH 2" CAP
- - - 100 — PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - FO — PROPOSED UNDERGROUND FIBER OPTIC
- - - UGT — PROPOSED UNDERGROUND TELEPHONE
- - - GAS — PROPOSED UNDERGROUND GAS
- - - UGE — PROPOSED UNDERGROUND ELECTRIC
- 8"W — PROPOSED 8" WATER MAIN
- 8"S — PROPOSED 8" SANITARY SEWER MAIN
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED WATER VALVE
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE

| NO. | DATE | DESCRIPTION | SYMBOL |
|-----|------|-------------|--------|
| | | | |
| | | | |
| | | | |
| | | | |

| | | |
|---------------------|------------------------------------|------------------------------|
| DESIGNED BY: RBI | DATE: 2021.02.17 | REV: 0 |
| DRAWN BY: RBI | CRD BY: JAK | |
| CHECKED BY: LH | REVIEWED BY: LH | |
| SUBMITTED BY: | FILE NAME: PLOT SCALE: 1" = 20' | PLOT DATE: February 17, 2021 |

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PHYSICAL 607 Street
PAONIA, CO 81428
www.odisea.com

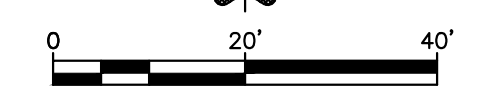
CLARK'S END MINOR SUBDIVISION

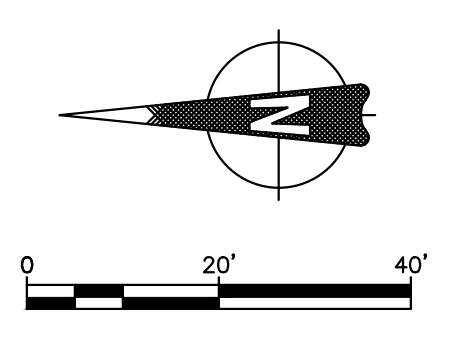
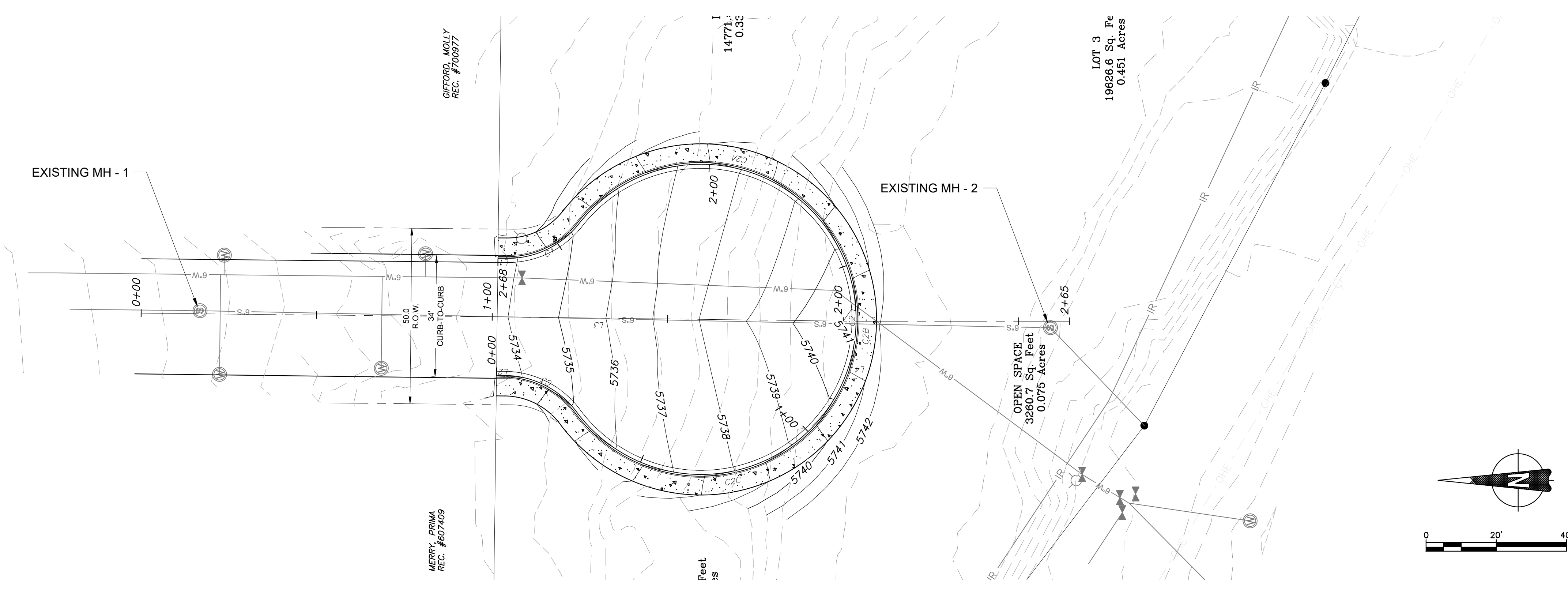
PAONIA, CO 81428

PROPOSED SITE PLAN

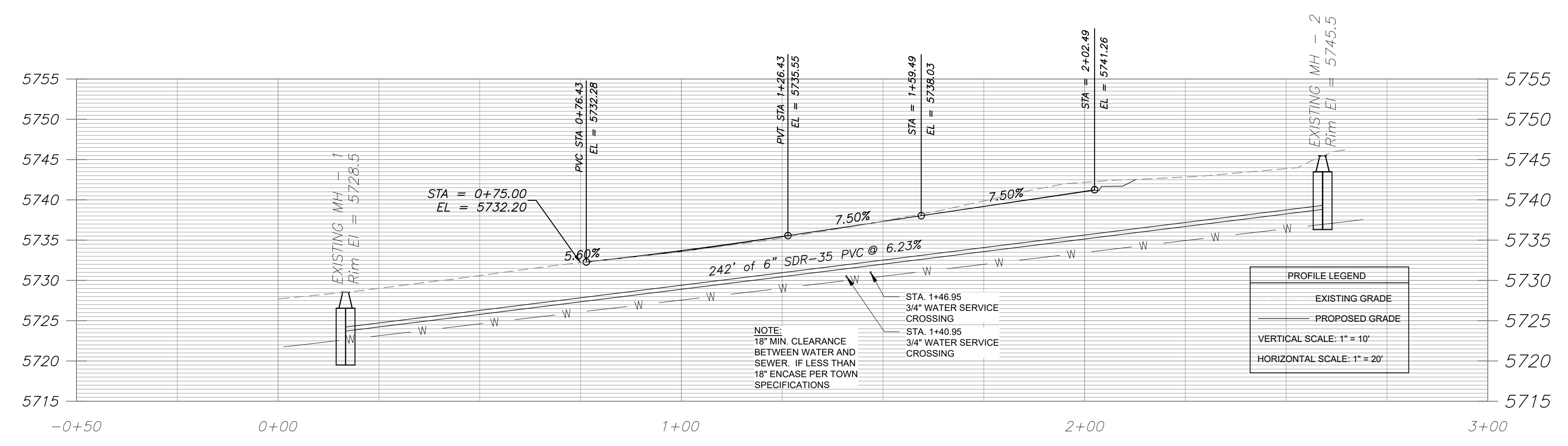
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Know what's below.
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CLARK AVENUE
20 MPH DESIGN SPEED (LOCAL STREET)
50' R.O.W. TYPICAL TWO-WAY ROADWAY SECTION (PUBLIC)



NOTE:
18" MIN. CLEARANCE
BETWEEN WATER AND
SEWER. IF LESS THAN
18" ENCASE PER TOWN
SPECIFICATIONS

| PROFILE LEGEND | |
|----------------|----------------------------|
| — | EXISTING GRADE |
| — | PROPOSED GRADE |
| — | VERTICAL SCALE: 1" = 10' |
| — | HORIZONTAL SCALE: 1" = 20' |

| REV | DATE | DESCRIPTION | DATE | APPR |
|-----|------|-------------|------|------|
| 0 | | | | |

| | | |
|--------------|-------------------|------|
| DESIGNED BY: | DATE: | REV: |
| DRAWN BY: | 2021.02.17 | 0 |
| CHECKED BY: | | |
| REVIEWED BY: | | |
| APPROVED BY: | | |
| FILE NAME: | AS SHOWN | |
| PLOT DATE: | February 17, 2021 | |

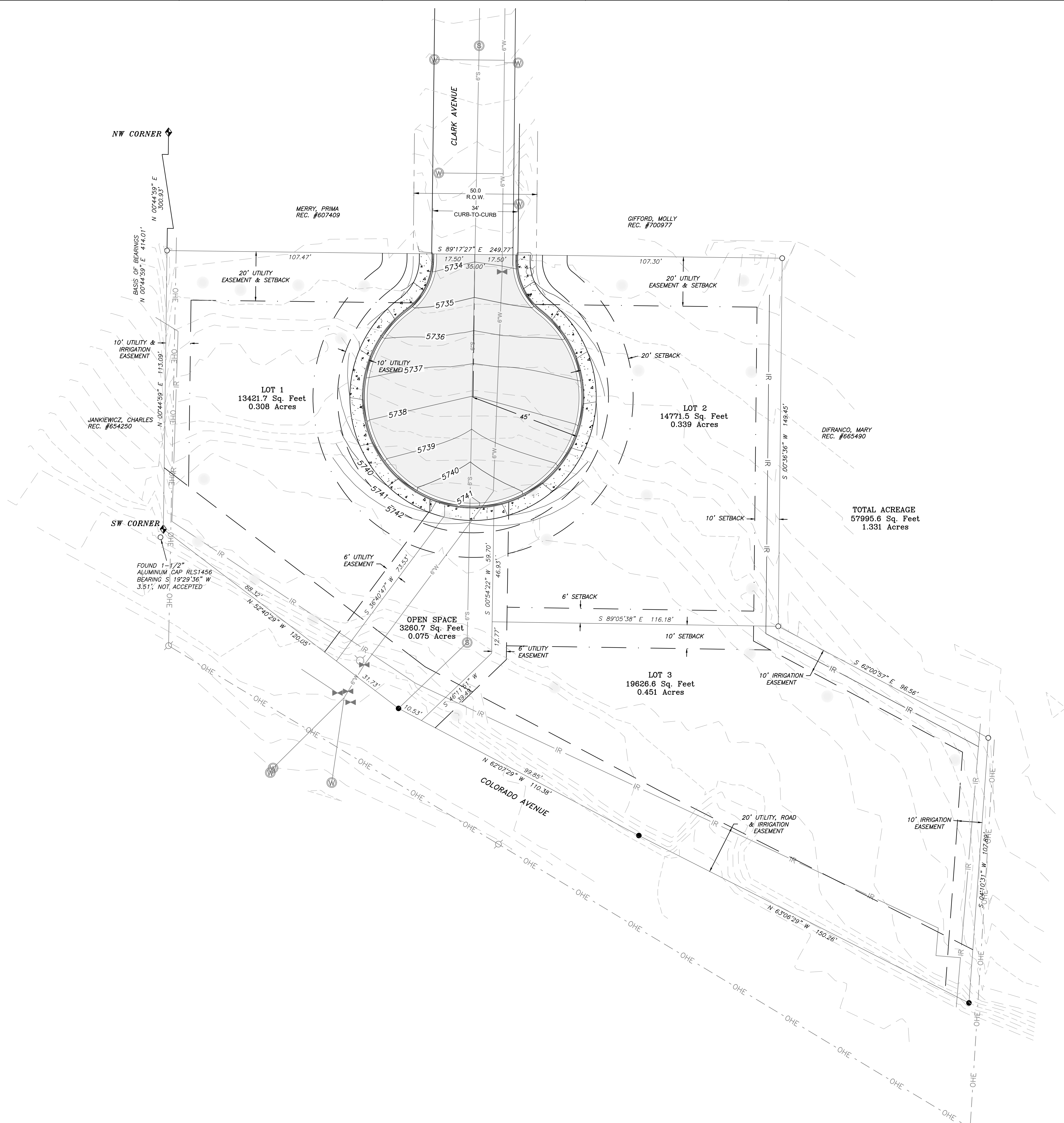
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CLARK'S END MINOR SUBDIVISION

PAONIA, CO 81428

CLARK AVENUE PLAN & PROFILE
C3.0





PROJECT LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - ROADWAY CENTERLINE
- - - EASEMENT
- - - BUILDING SETBACK
- - - 100-YR FLOODPLAIN
- 6"W — EXISTING 8" WATER MAIN
- 6"S — EXISTING 8" SANITARY SEWER MAIN
- - - 100 — EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- ☁ EXISTING TREES OR TREELINE
- ▭ DRAINAGE BASIN DELINEATION
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER TAP STUB-OUT
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING SANITARY SEWER TAP STUB-OUT
- SURVEY SET 5/8" REBAR WITH 2" CAP
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- GAS — PROPOSED UNDERGROUND GAS
- UGE — PROPOSED UNDERGROUND ELECTRIC
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- ⊕ PROPOSED WATER VALVE
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED SANITARY SEWER MANHOLE
- ⊕ PROPOSED SANITARY SEWER SERVICE
- W — PROPOSED WATER SERVICE

| | | |
|--------------|-------------------|------|
| DESIGNED BY: | DATE: | REV: |
| DRN BY: | 2021.02.17 | 0 |
| REVIEWED BY: | | |
| DATE: | | |
| FILE NAME: | | |
| PLOT SCALE: | 1" = 20' | |
| PLOT DATE: | February 17, 2021 | |

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CLARK'S END MINOR SUBDIVISION

PAONIA, CO 81428

GRADING & DRAINAGE

C4.0

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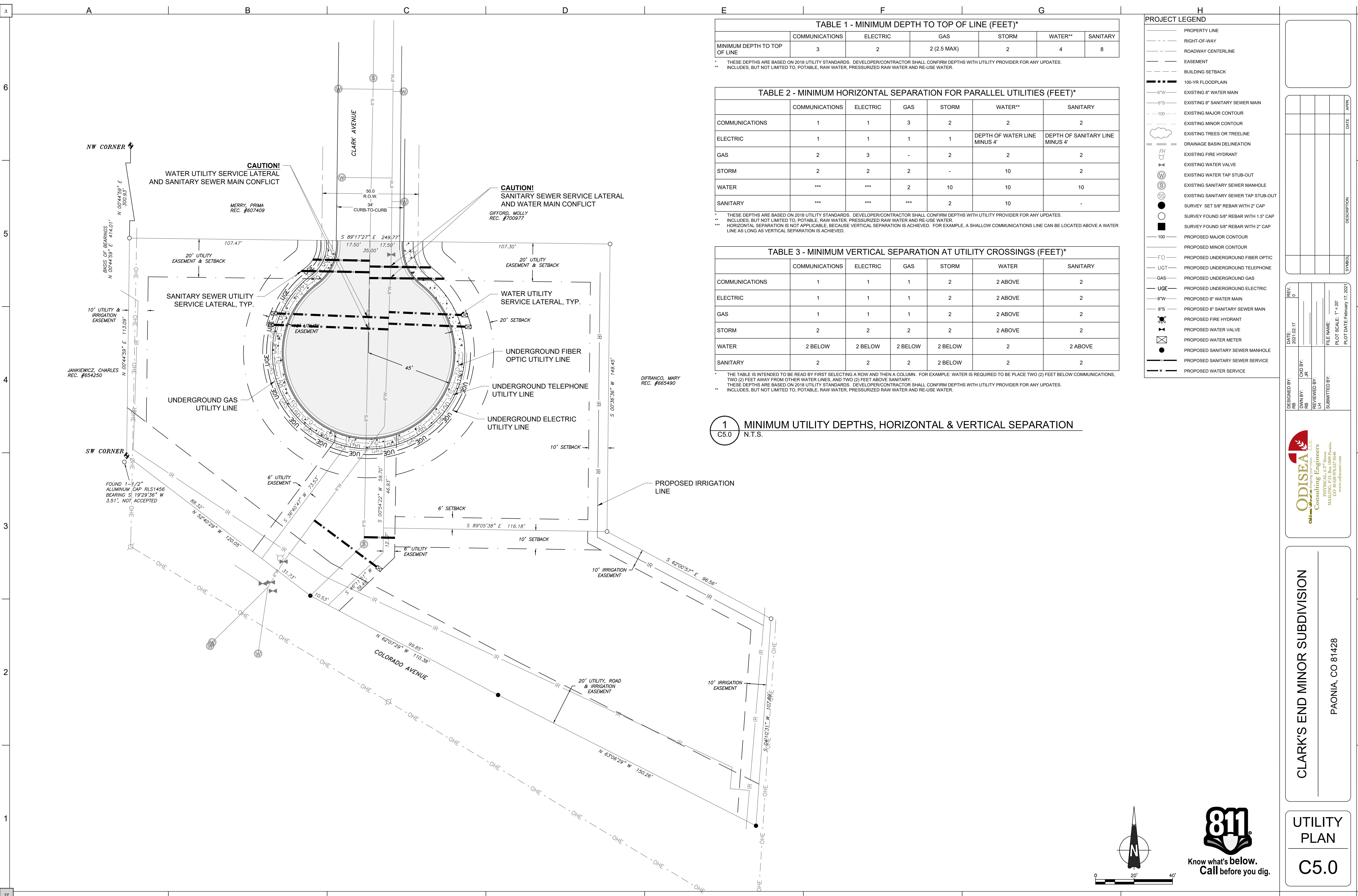


TABLE 1 - MINIMUM DEPTH TO TOP OF LINE (FEET)*

| MINIMUM DEPTH TO TOP OF LINE | COMMUNICATIONS | ELECTRIC | GAS | STORM | WATER** | SANITARY |
|------------------------------|----------------|----------|-------------|-------|---------|----------|
| | 3 | 2 | 2 (2.5 MAX) | 2 | 4 | 8 |

* THESE DEPTHS ARE BASED ON 2018 UTILITY STANDARDS. DEVELOPER/CONTRACTOR SHALL CONFIRM DEPTHS WITH UTILITY PROVIDER FOR ANY UPDATES.
 ** INCLUDES, BUT NOT LIMITED TO, POTABLE, RAW WATER, PRESSURIZED RAW WATER AND RE-USE WATER.

TABLE 2 - MINIMUM HORIZONTAL SEPARATION FOR PARALLEL UTILITIES (FEET)*

| | COMMUNICATIONS | ELECTRIC | GAS | STORM | WATER** | SANITARY |
|----------------|----------------|----------|-----|-------|------------------------------|---------------------------------|
| COMMUNICATIONS | 1 | 1 | 3 | 2 | 2 | 2 |
| ELECTRIC | 1 | 1 | 1 | 1 | DEPTH OF WATER LINE MINUS 4' | DEPTH OF SANITARY LINE MINUS 4' |
| GAS | 2 | 3 | - | 2 | 2 | 2 |
| STORM | 2 | 2 | 2 | - | 10 | 2 |
| WATER | *** | *** | 2 | 10 | 10 | 10 |
| SANITARY | *** | *** | *** | 2 | 10 | - |

* THESE DEPTHS ARE BASED ON 2018 UTILITY STANDARDS. DEVELOPER/CONTRACTOR SHALL CONFIRM DEPTHS WITH UTILITY PROVIDER FOR ANY UPDATES.
 ** INCLUDES, BUT NOT LIMITED TO, POTABLE, RAW WATER, PRESSURIZED RAW WATER AND RE-USE WATER.
 *** HORIZONTAL SEPARATION IS NOT APPLICABLE, BECAUSE VERTICAL SEPARATION IS ACHIEVED. FOR EXAMPLE, A SHALLOW COMMUNICATIONS LINE CAN BE LOCATED ABOVE A WATER LINE AS LONG AS VERTICAL SEPARATION IS ACHIEVED.

TABLE 3 - MINIMUM VERTICAL SEPARATION AT UTILITY CROSSINGS (FEET)*

| | COMMUNICATIONS | ELECTRIC | GAS | STORM | WATER | SANITARY |
|----------------|----------------|----------|---------|---------|---------|----------|
| COMMUNICATIONS | 1 | 1 | 1 | 2 | 2 ABOVE | 2 |
| ELECTRIC | 1 | 1 | 1 | 2 | 2 ABOVE | 2 |
| GAS | 1 | 1 | 1 | 2 | 2 ABOVE | 2 |
| STORM | 2 | 2 | 2 | 2 | 2 ABOVE | 2 |
| WATER | 2 BELOW | 2 BELOW | 2 BELOW | 2 BELOW | 2 | 2 ABOVE |
| SANITARY | 2 | 2 | 2 | 2 BELOW | 2 | 2 |

* THE TABLE IS INTENDED TO BE READ BY FIRST SELECTING A ROW AND THEN A COLUMN. FOR EXAMPLE: WATER IS REQUIRED TO BE PLACED TWO (2) FEET BELOW COMMUNICATIONS, TWO (2) FEET AWAY FROM OTHER WATER LINES, AND TWO (2) FEET ABOVE SANITARY.
 ** THESE DEPTHS ARE BASED ON 2018 UTILITY STANDARDS. DEVELOPER/CONTRACTOR SHALL CONFIRM DEPTHS WITH UTILITY PROVIDER FOR ANY UPDATES.
 *** INCLUDES, BUT NOT LIMITED TO, POTABLE, RAW WATER, PRESSURIZED RAW WATER AND RE-USE WATER.

1 MINIMUM UTILITY DEPTHS, HORIZONTAL & VERTICAL SEPARATION
 C5.0 N.T.S.

PROJECT LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - ROADWAY CENTERLINE
- - - EASEMENT
- - - BUILDING SETBACK
- - - 100-YR FLOODPLAIN
- 6"W EXISTING 8" WATER MAIN
- 6"S EXISTING 8" SANITARY SEWER MAIN
- 100 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING TREES OR TREELINE
- DRAINAGE BASIN DELINEATION
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER TAP STUB-OUT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER TAP STUB-OUT
- SURVEY SET 5/8" REBAR WITH 2" CAP
- SURVEY FOUND 5/8" REBAR WITH 1.5" CAP
- SURVEY FOUND 5/8" REBAR WITH 2" CAP
- 100 PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- FO PROPOSED UNDERGROUND FIBER OPTIC
- UGT PROPOSED UNDERGROUND TELEPHONE
- GAS PROPOSED UNDERGROUND GAS
- UGE PROPOSED UNDERGROUND ELECTRIC
- 8"W PROPOSED 8" WATER MAIN
- 8"S PROPOSED 8" SANITARY SEWER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER SERVICE
- W PROPOSED WATER SERVICE

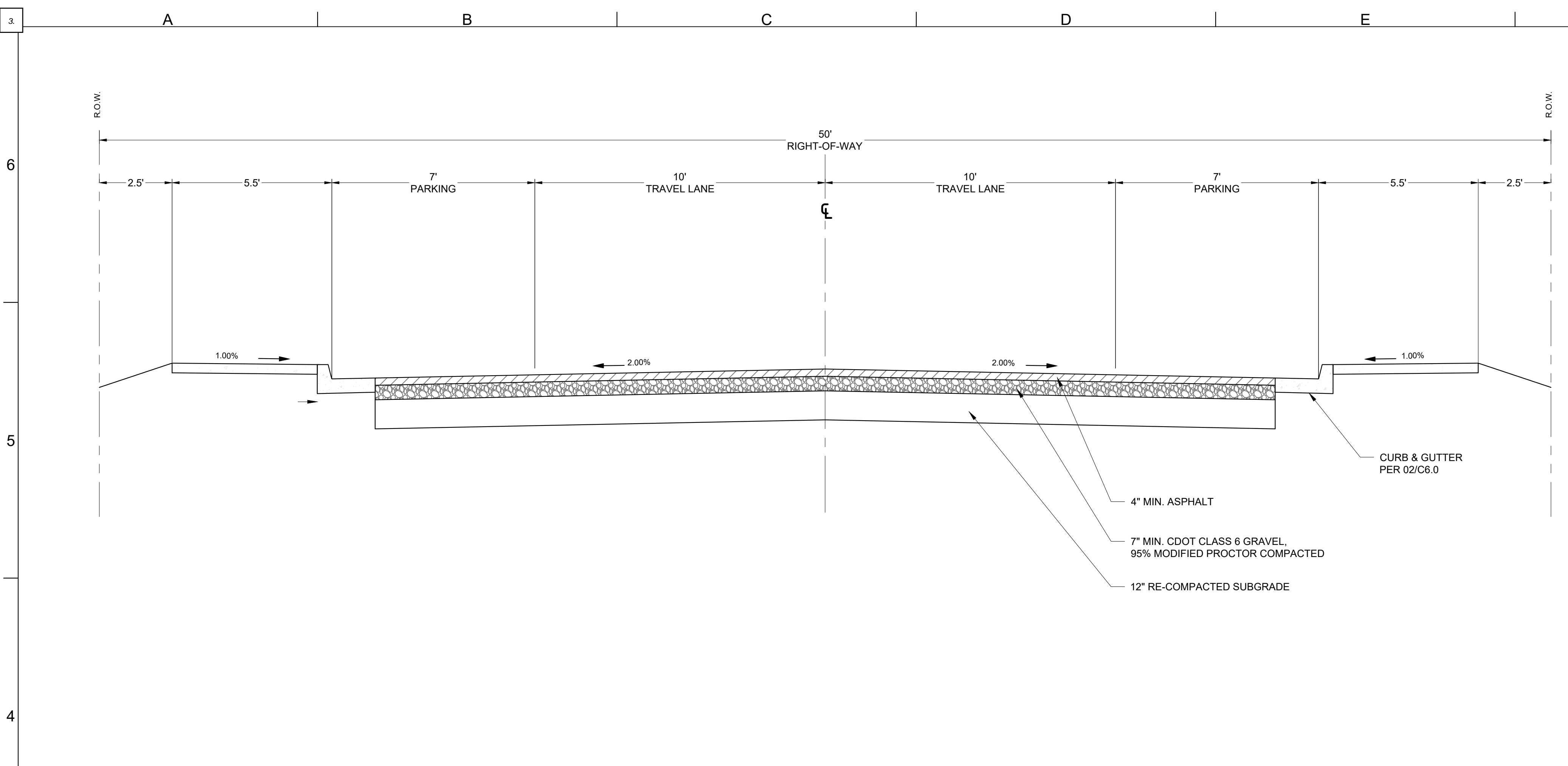
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 DRAWN BY: []
 CHECKED BY: []
 DATE: 2021.02.17
 FILE NAME: []
 PLOT SCALE: 1" = 20'
 PLOT DATE: February 17, 2021

ODISEA
 Consulting Engineers
 PHYSICAL: 607 Street
 AVARADO, CO 81428
 www.odisea.com

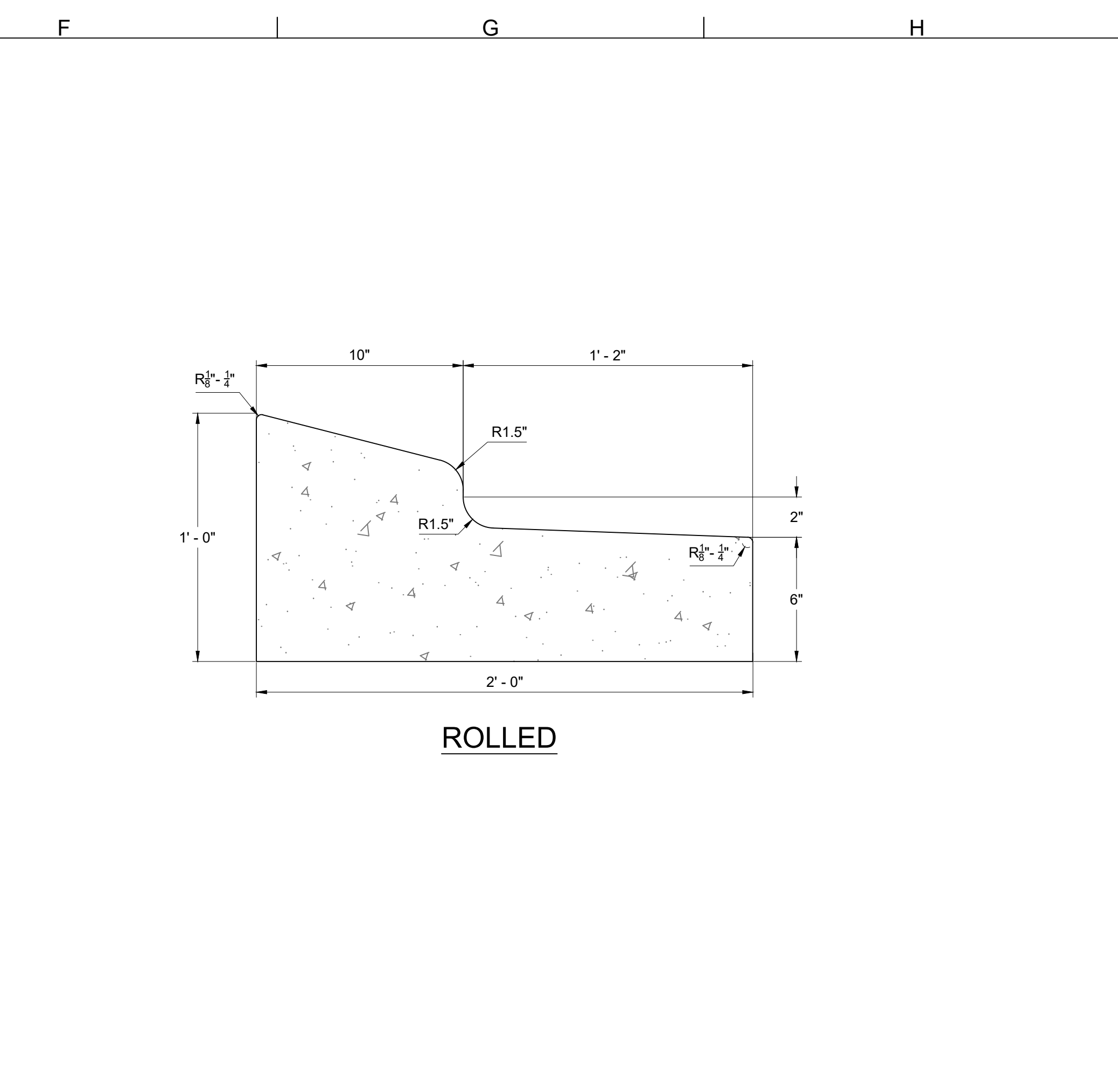
CLARK'S END MINOR SUBDIVISION
 PAONIA, CO 81428

UTILITY PLAN
C5.0

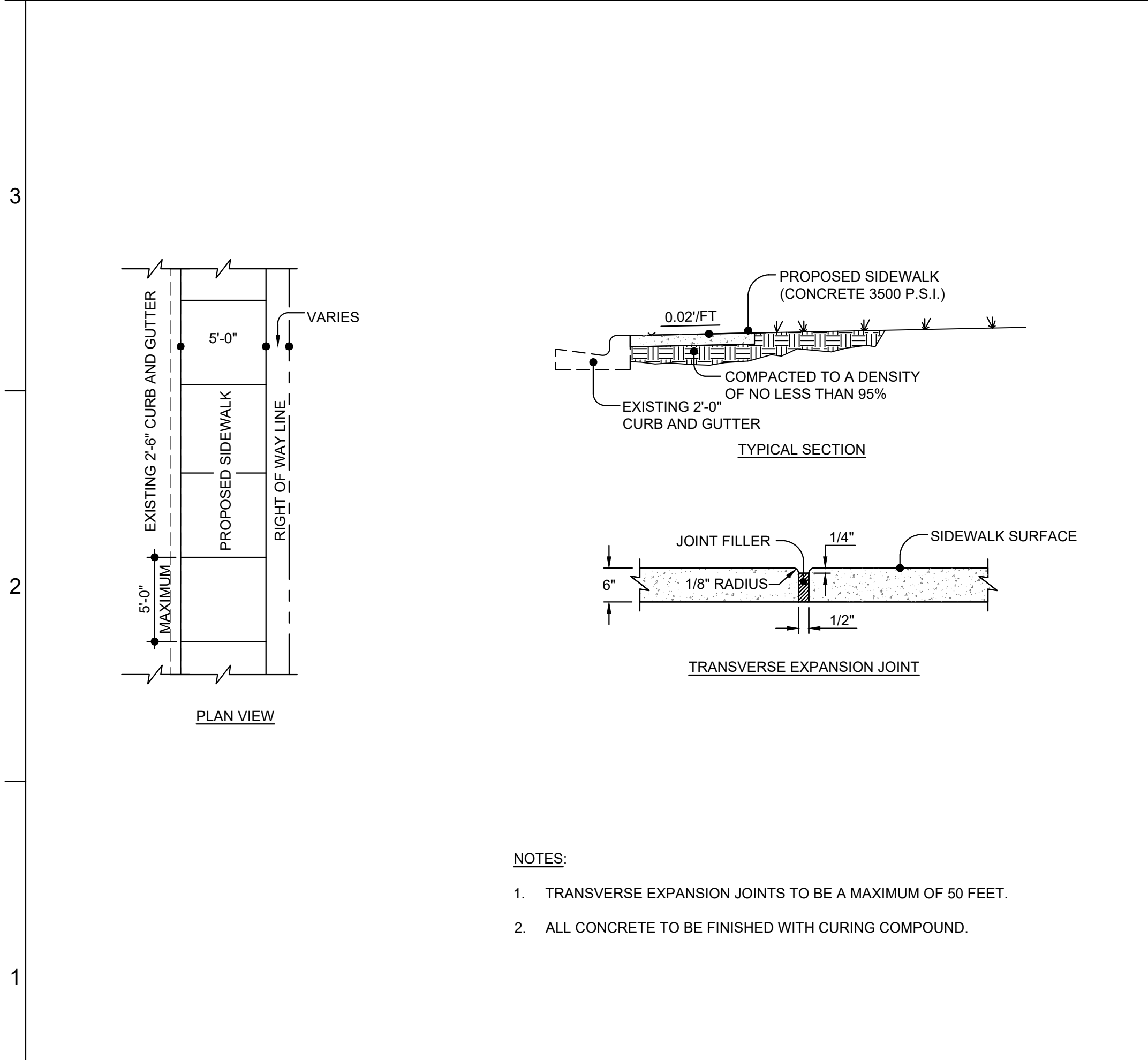
811
 Know what's below.
 Call before you dig.



1 LOCAL STREET SECTION
C6.0 N.T.S.



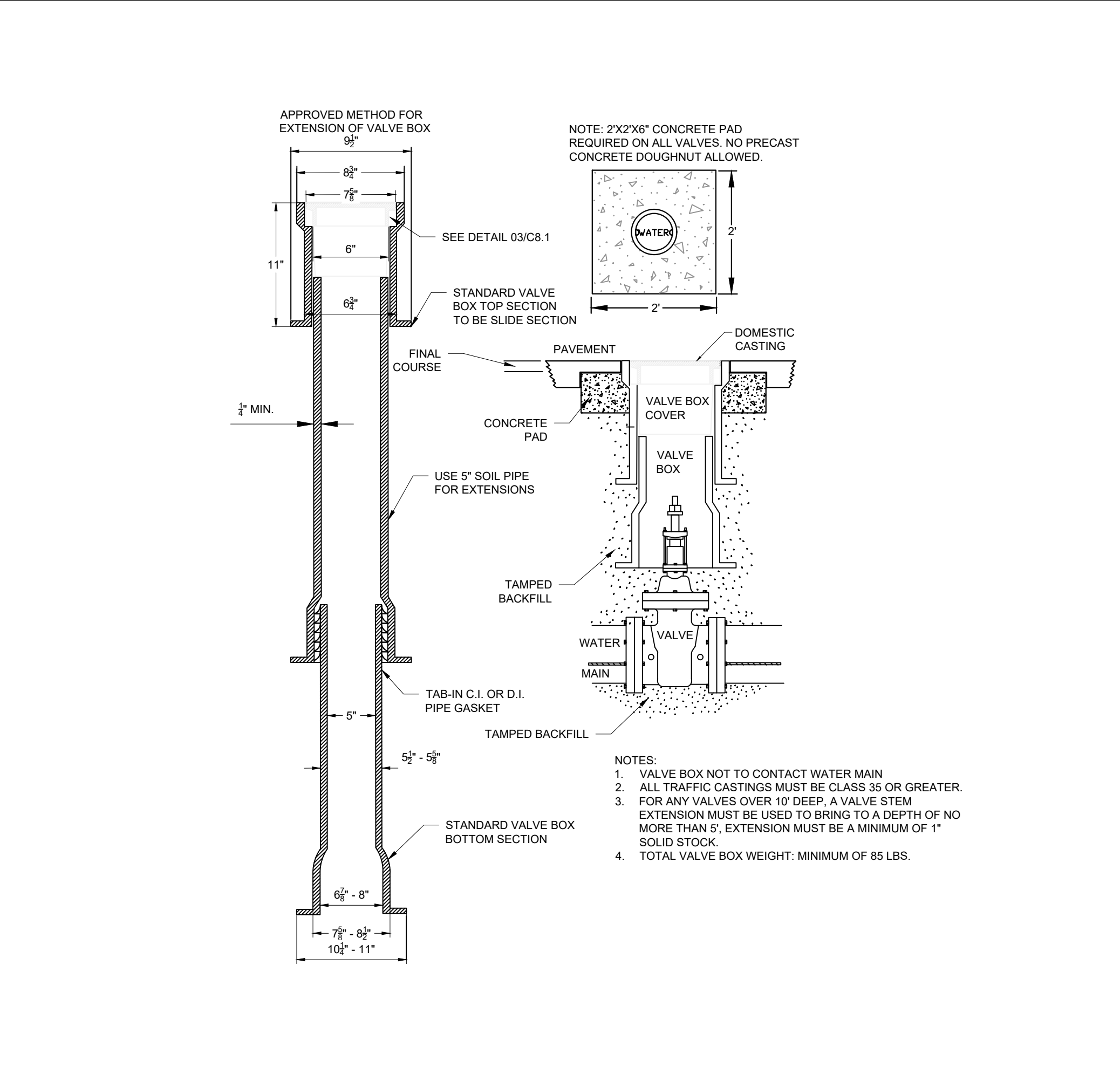
2 CURB & GUTTER
C6.0 N.T.S.



4 STANDARD SIDEWALK
C6.0 N.T.S.



4 INTENTIONALLY LEFT BLANK
C6.0 N.T.S.



5 VALVE BOX INSTALLATION AND EXTENSION
C6.0 N.T.S.

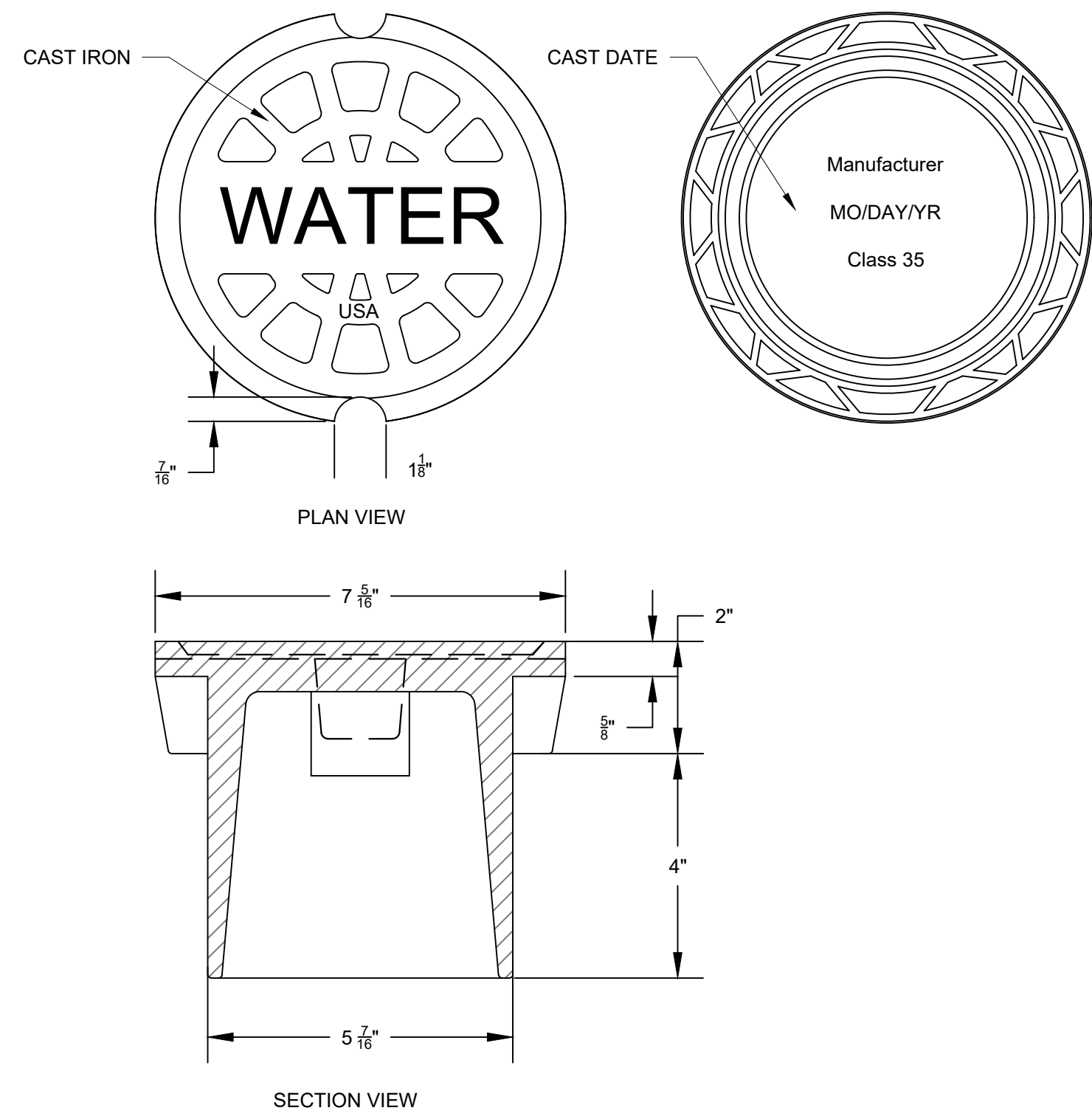
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|--------------------|------------------------------------|------------------------------|
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| DRAWN BY: JR | | |
| CHECKED BY: JR | | |
| REVIEWED BY: LH | | |
| SUBMITTED BY: | FILE NAME: PLOT SCALE: AS SHOWN | PLOT DATE: February 17, 2021 |

ODISEA
Consulting Engineers
PHYSICAL 607 Street
PAONIA, CO 81428
www.odisea.com

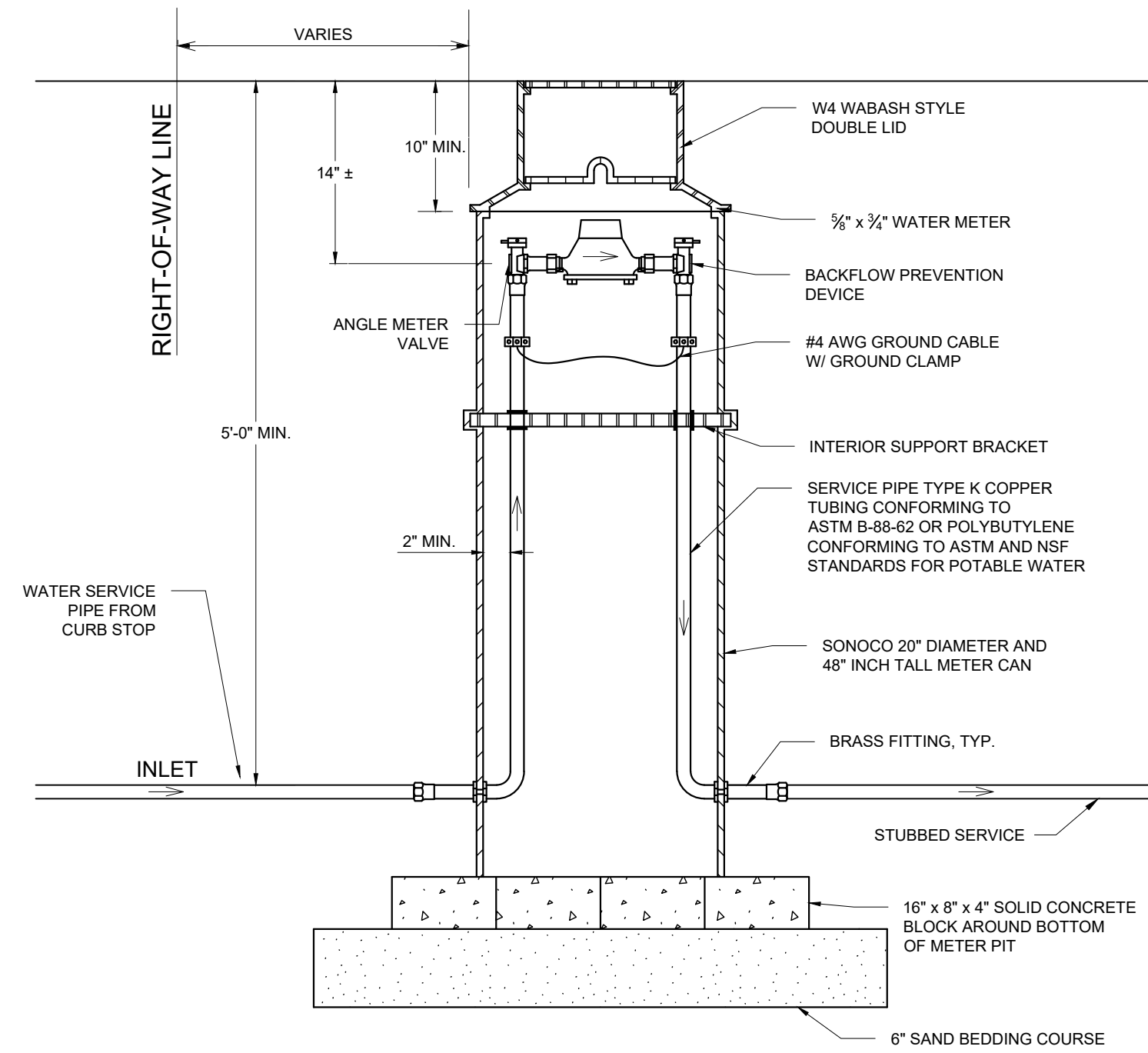
CLARK'S END MINOR SUBDIVISION
PAONIA, CO 81428

CIVIL DETAILS
C6.0



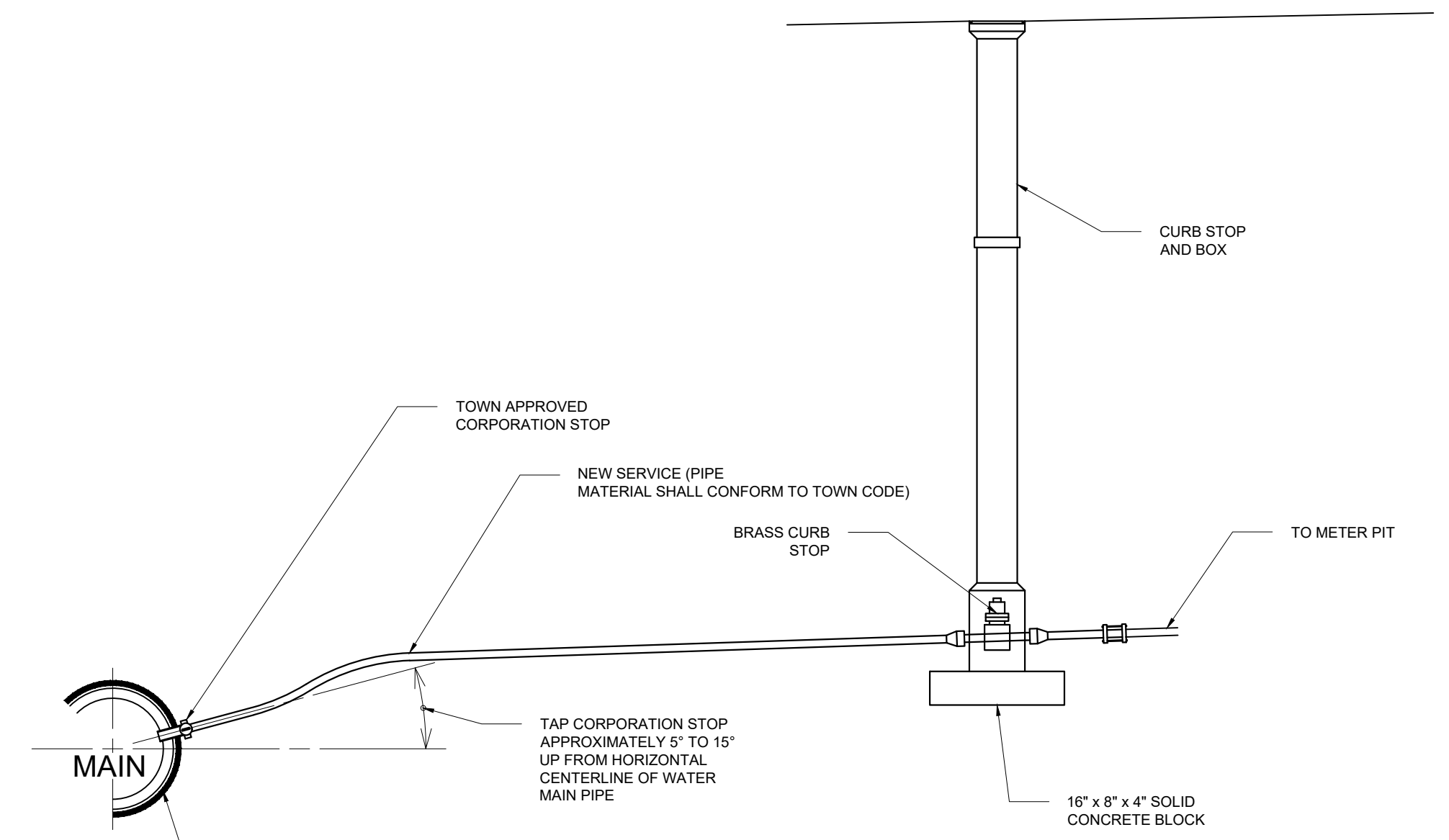
- NOTES:
- "WATER" LETTERING MUST BE 1" RAISED (RECESSED FLUSH)
 - VALVE COVER SHALL BE DOMESTICALLY CAST.
 - COVER MUST HAVE A MINIMUM WEIGHT OF 25 POUNDS.
 - COVER MUST BE CLASS 35 OR GREATER.
 - COVER MUST MEET OR EXCEED AASHTO H-20 LOAD REQUIREMENTS.

1 5 1/4" VALVE BOX DROP LID WITH 4" SKIRT
C6.1 N.T.S.

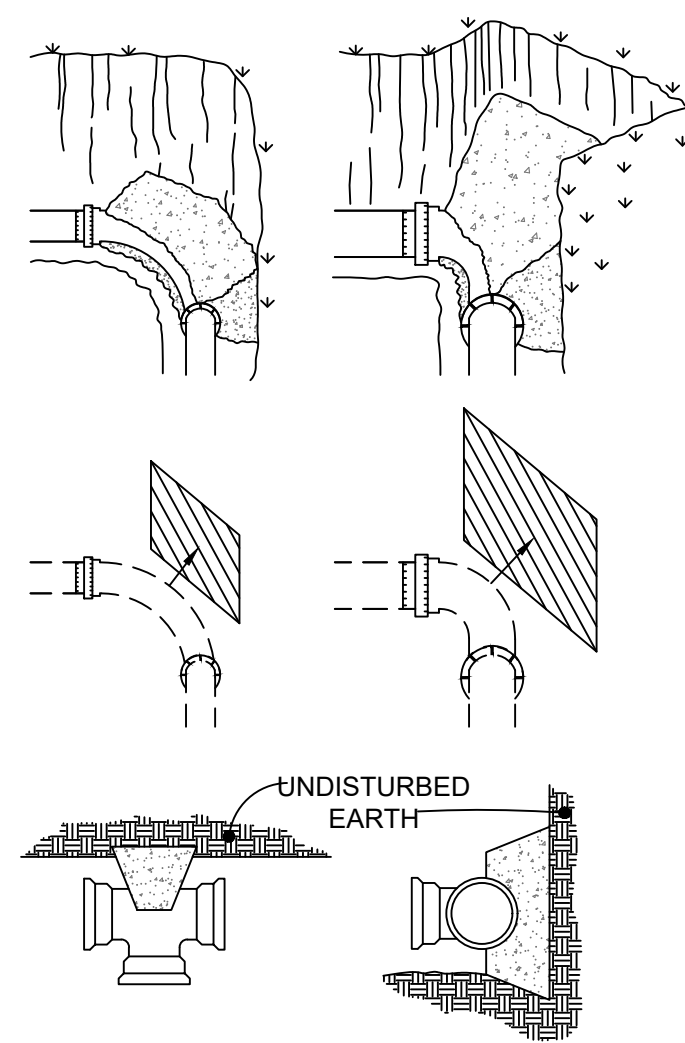


- NOTES:
- WATER METER SHALL BE BADGER METER RECORDALL DISC METER WITH RECORDALL TRANSMITTER REGISTER, AND ORION WATER ENDPOINT
 - NO DIRECT TAPS ALLOWED.
 - METER BOX TO BE LOCATED IN R/W ADJACENT TO PROPERTY OR IN APPROVED EASEMENT ADJACENT TO R/W.
 - WHEN THE GRADE CHANGES ON EXISTING SERVICES, A COPPER RESETER CAN BE USED TO ADJUST TO GRADE. COPPER RESETTERS ARE PROHIBITED ON NEW SERVICES.
 - CURB STOP BOX SHALL HAVE PLUG STYLE LID WITH PENTAGON BOLT, 1-1/4" STEEL UPPER SECTION, AND ARCH STYLE BASE. STEEL STATIONARY ROD TO BE PROVIDED FOR CURB STOP OPERATION.
 - SERVICE LINES SHALL BE STUBBED ACROSS THE PROPERTY LINE THROUGH THE WIDTH OF THE UTILITY EASEMENT WITH THE END SEALED WITH A WATERTIGHT SEAL AND MARKED FULL DEPTH WITH A 2 X 4 PAINTED BLUE AND BROUGHT TO GRADE.
 - BURIAL DEPTH SHALL CONFORM TO THE TOWN OF PAONIA MINIMUM BURIAL DEPTH FOR WATER LINES AND SERVICES.
 - TRACER WIRE IS REQUIRED ON ALL NEW WATER PIPE INFRASTRUCTURE PER SUE REGULATIONS. TRACER WIRE SHALL BE NO. 12 GAUGE SOLID COPPER.

2 STANDARD 3/4" WATER SERVICE METER PIT
C6.1 N.T.S.



3 WATER SERVICE CONNECTION
C6.1 N.T.S.

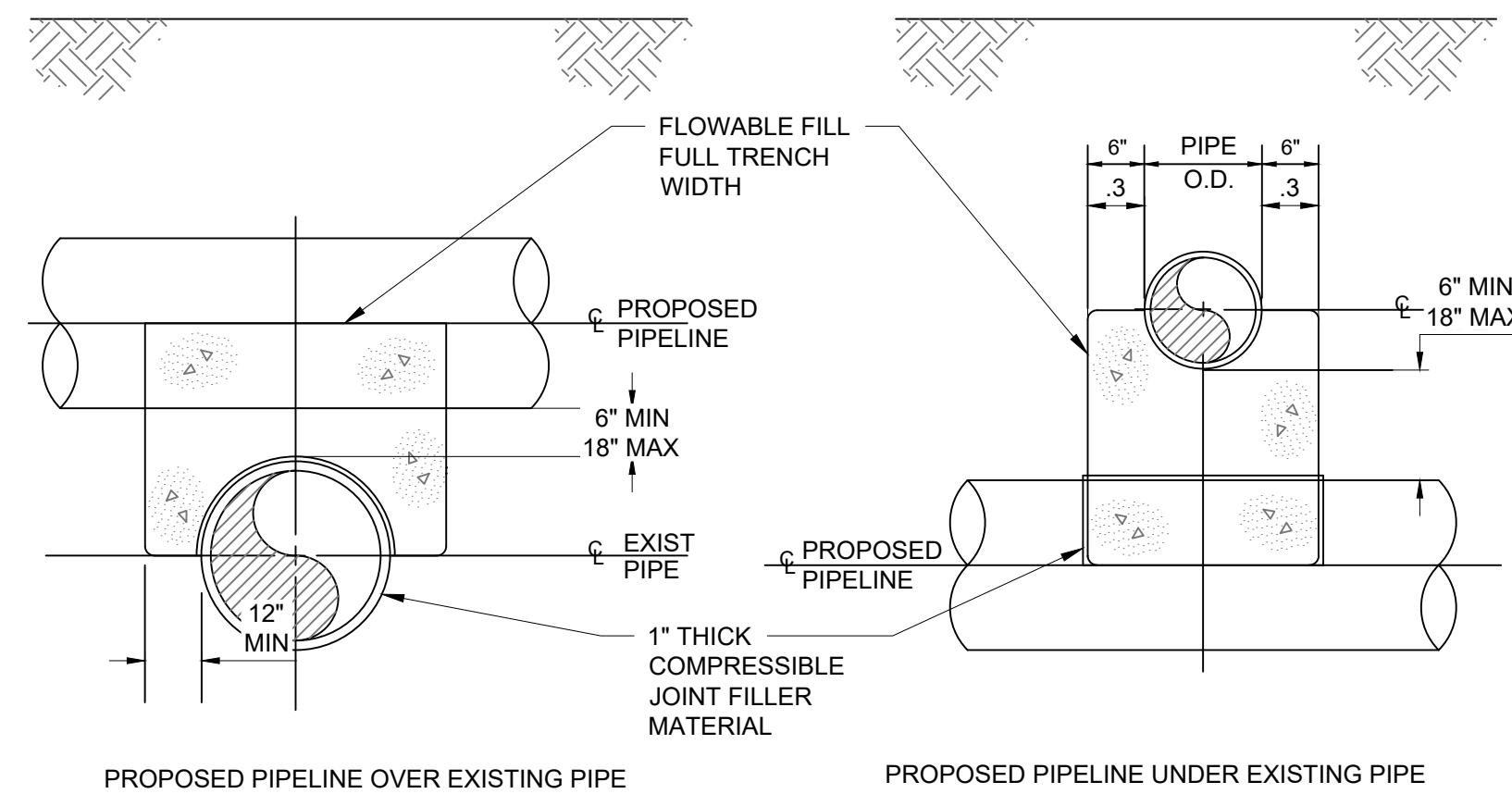


| NOMINAL PIPE DIAMETER INCHES | MINIMUM CONCRETE BLOCKING (C.Y.)* | | | | |
|------------------------------|-----------------------------------|----------|----------|--------------|--------------|
| | TEES & DEAD ENDS | 90° BEND | 45° BEND | 22 1/2° BEND | 11 1/4° BEND |
| 4 | 1/3 | 1/3 | 1/3 | 1/3 | 1/3 |
| 6 | 1/3 | 1/3 | 1/3 | 1/3 | 1/3 |
| 8 | 1/3 | 1/2 | 1/3 | 1/3 | 1/3 |
| 10 | 2/3 | 3/4 | 1/2 | 1/3 | 1/3 |
| 12 | 3/4 | 1.0 | 2/3 | 1/3 | 1/3 |

- NOTES:
- FITTING SHALL BE WRAPPED WITH A MINIMUM 4 MIL PLASTIC.
 - NO CONCRETE SHALL COVER BOLTS OR GLANDS.
 - PIPE DIAMETERS BEYOND 12 INCHES SHALL UTILIZE A PROFESSIONAL ENGINEER'S SEALED DESIGN CONSISTING OF RESTRAINED JOINT PIPE OR BLOCKING.

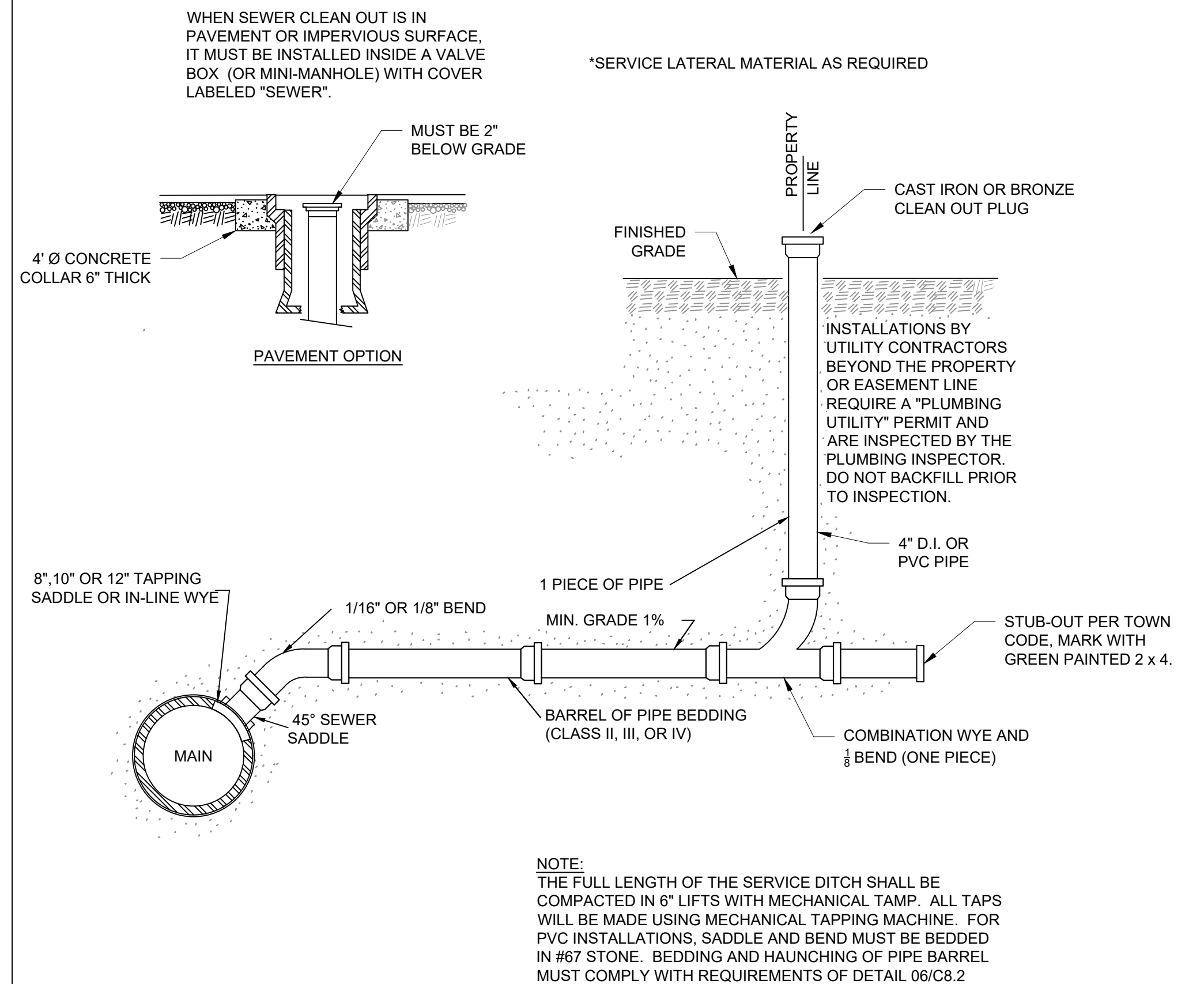
* CONCRETE SHALL BE 3,000 P.S.I. MIX.

3 STANDARD REACTION BLOCKING
C6.1 N.T.S.



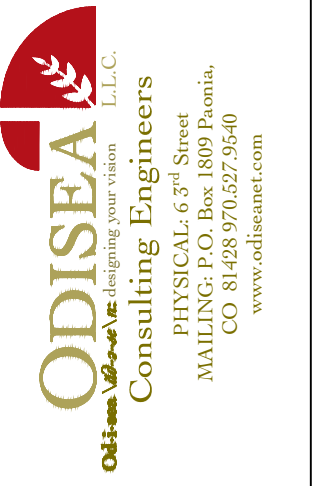
NOTE:
NO ENCASEMENT REQUIRED FOR SPACE GREATER THAN 18" FOR WATER LINES

5 SANITARY SEWER CONCRETE ENCASEMENT FOR WATER LINE CROSSING
C6.1 N.T.S.



NOTE:
THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMP. ALL TAPS WILL BE MADE USING MECHANICAL TAPPING MACHINE. FOR PVC INSTALLATIONS, SADDLE AND BEND MUST BE BEDDED IN #67 STONE. BEDDING AND HAUNCHING OF PIPE BARREL MUST COMPLY WITH REQUIREMENTS OF DETAIL 06/C8.2

6 TYPICAL SANITARY SEWER LATERAL CONNECTION
C6.1 N.T.S.



CLARK'S END MINOR SUBDIVISION
PAONIA, CO 81428

CIVIL DETAILS
C6.1

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| DESIGNED BY: | DATE: | REV: |
| DRAWN BY: | 2021.02.17 | 0 |
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| REVIEWED BY: | | |
| SUBMITTED BY: | | |
| FILE NAME: | | |
| PLOT DATE: | | |
| PLOT SCALE: | | |
| AS SHOWN | | |
| FEBRUARY 17, 2021 | | |

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AGENDA SUMMARY FORM



Ordinance -TBD Accessory Dwelling Units

Summary:

Review and recommendations regarding a zoning modification to allow accessory dwelling units (ADU's) in the R-1 zone district.

| | | | |
|--------------|---------------|-----------------|----------------|
| Vote: | Barb Heck: | Karen Budinger: | Monica Foguth: |
| Lucy Hunter: | Mary Bachran: | | |

ORDINANCE NO. 2021-____

AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF PAONIA, COLORADO, AMENDING CERTAIN PROVISIONS OF CHAPTER 16 OF THE TOWN OF PAONIA MUNICIPAL CODE

RECITALS:

WHEREAS, the Town of Paonia (the “**Town**”), in the County of Delta and State of Colorado, is a municipal corporation duly organized and existing under the laws of the State of Colorado; and

WHEREAS, the Town pursuant to C.R.S. 31-4-101, the Town has certain legislative powers; and

WHEREAS, pursuant to C.R.S. § 31-23-301, the Town has the power to regulate buildings and other structures for the purposes of promoting health, safety, and the general welfare of the community; and

WHEREAS, the use of Accessory Dwelling Units (“ADUs”) has been recognized to be an effective means to improve affordable housing, and provide additional dwelling units within a community; and

WHEREAS, to offset housing costs and to create additional housing within the Town of Paonia, the Board of Trustees wishes to amend the Town Code to allow for ADUs within the Town; and

WHEREAS, the Board of Trustees determines that it is in the best interest of the community and the public health, safety and welfare of the citizens of the Town to amend the Town Code to add certain provision to the Municipal Code.

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF PAONIA, COLORADO, AS FOLLOWS:

Section 1. Legislative Findings.

The recitals to this Ordinance are adopted as findings of the Board of Trustees in support of the enactment of this Ordinance.

Section 2. Amendment of Town Code.

(A) The definition of “*Accessory building, structure or use*” under Sec. 16-1-100 is repealed and amended to read as follows:

“*Accessory building, structure or use*’ means a building, structure or use located on the same lot as the principal building, structure or use, which is clearly incidental to and subordinate to and customarily found in connection with the principal building

structure or use. Accessory buildings, structures or uses shall not be used for living or sleeping quarters unless such accessory building, structures or uses shall meet the requirements of Sec. 16-_____.

(B) The definition of “*Dwelling Unit, accessory*” is added to under Sec. 16-1-100 to read as follows:

“*Dwelling Unit, accessory*’ means A dwelling unit located within, attached to, or detached from the principal dwelling, that contains no more than 800 square feet of gross floor area, the use of which is associated with and subordinate to the principal dwelling and that is located upon the same lot as the principal dwelling.”

Section 3. Addition to the Town Code.

(A) The following Sec. 16-3-65 is added to the Town Code as follows:

Sec. 16-3-65. – Accessory Dwelling Units.

- (a) ADU’s as defined in Sec. 16-1-100 are only allowed as accessory to a single-family dwelling and within the R-1 Low-Density Residential District. Only one ADU per single-family dwelling is permitted.
- (b) The accessory dwelling unit must be constructed in accordance with applicable requirements of the Town Building Codes. It may be attached or detached to the principal single-family dwelling. Applicable lot dimensional requirements for a single-family dwelling as set out in 16- must be met.
- (c) One off-street parking space shall be provided for the accessory dwelling unit in addition to any other required off-street parking.
- (d) The accessory dwelling unit may not exceed 800 square feet of gross floor area.
- (e) One of the dwelling units on the property must be, and remain, owner occupied.
- (f) A minimum of a 90-day rental period shall be required by written lease.
- (g) The accessory dwelling unit must be owned together with the principal residential unit, and the lot or parcel upon which they are located, in undivided ownership.

- (h) The accessory dwelling unit may be served off of the water or sewer tap for the principal residence, in which case it shall not be subject to additional tap fees.
- (i) The burden shall be upon the owner of any accessory dwelling unit to provide adequate proof to the Town that the criteria of this Section are met. In the event that the Town determines that the criteria has not been shown to be satisfied, the unit may not be occupied as a residence.
- (j) A dwelling unit constructed before a principal single-family dwelling, which meets these criteria, may be converted to an accessory dwelling unit following construction of a new principal dwelling unit.

Section 4. Severability.

If any provision, clause, sentence or paragraph of this Ordinance or the application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions of this Ordinance which can be given effect without the invalid provision or application, and, to this end, the provisions of this Ordinance are declared to be severable.

Section 5. Repeal of Prior Ordinances.

All other ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 5. Ordinance Effect.

Existing ordinances or parts of ordinances covering the same matters as embraced in this Ordinance are hereby repealed and any and all ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed, provided, however, that the repeal of any ordinance or parts of ordinances of the Town shall not revive any other section of any ordinance or ordinances hereto before repealed or superseded and further provided that this repeal shall not affect or prevent the prosecution or punishment of any person for any act done or committed in violation of any ordinance hereby repealed prior to the taking effect of this Ordinance.

Section 6. Effective Date.

This Ordinance shall take effect thirty days after adoption. Notwithstanding the foregoing, the Town shall not issue a certificate of occupancy for an accessory dwelling unit unless or until there is a repeal on the Town wide water tap sale moratorium.

THIS SECTION LEFT INTENTIONALLY BLANK

INTRODUCED, READ, AND REFERRED for second reading before the Board of Trustees of the Town of Paonia, Colorado, on the 23rd day of February 2021.

TOWN OF PAONIA, COLORADO, A MUNICIPAL CORPORATION

By: _____
Mary Bachran, Mayor

ATTEST:

CORINNE FERGUSON, Town Clerk

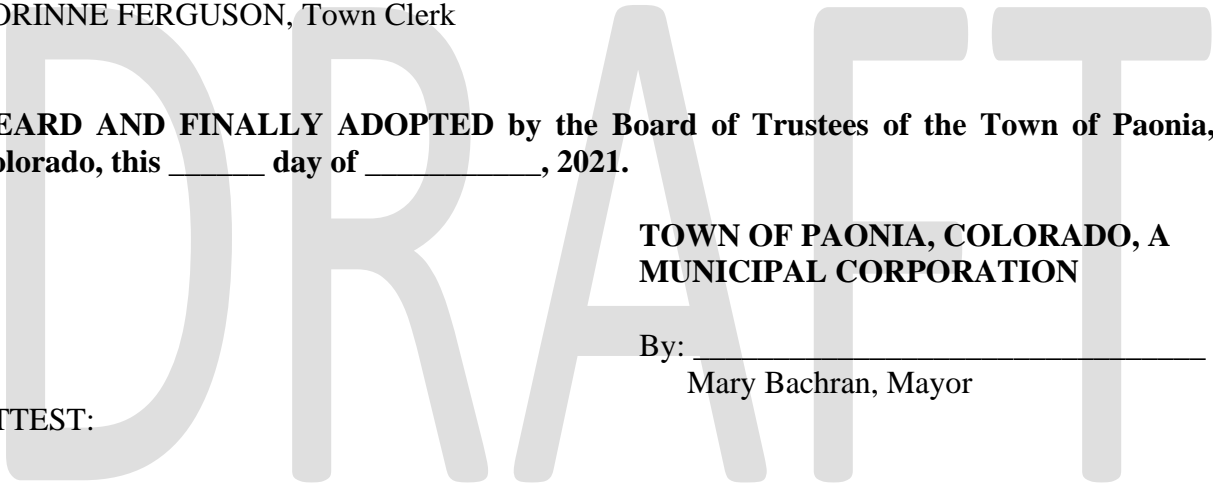
HEARD AND FINALLY ADOPTED by the Board of Trustees of the Town of Paonia, Colorado, this _____ day of _____, 2021.

TOWN OF PAONIA, COLORADO, A MUNICIPAL CORPORATION

By: _____
Mary Bachran, Mayor

ATTEST:

Corinne Ferguson, Town Administrator/Clerk



ADU Summary

December 2020

Accessory Dwelling Unit (ADU): Defined as a dwelling unit with all necessary facilities (kitchen, bathroom) distinct from the primary home, whether attached or detached, in the R-1 zone

GAPS Recommendations to be added to code and/or ordinance to allow ADUs

1. Code adjustments
 - a. Remove restrictive and unclear land-to-development ratio from Chapter 16, article 3. Instead, rely on required setbacks to ensure compatibility with neighborhood character
 - b. Do not include a lot square footage minimum (R-2 has a minimum 8,000 sq ft for a duplex)
2. Water requirements
 - a. Moratorium: Review with town attorney, but current understanding of the moratorium may allow for an ADU in cases where no extension of the line is required (ex. Converted garage already has water/sewer service). However, extension of a line would be disallowed by the moratorium.
 - b. When available, the allowable method to extend water to an ADU would be based on tap size; Public Works has existing guidelines on tap service capabilities
 - i. If the tap is large enough to service the anticipated water use of an extension, the homeowner can use the existing tap and add a meter for the ADU.
 - ii. If the tap is not large enough to service the anticipated water use, the homeowner would have to enlarge the tap (3/4" to 1" service) and pay the tap fee difference or purchase an additional tap
3. Parking
 - a. Recommend no minimum parking requirement for an ADU; rather, the homeowner would have to demonstrate on their application that adequate parking is available to meet their needs (whether on property or on street, in line with neighborhood character)
4. Size restrictions
 - a. Limit to the greater of 500 sq ft, or 25% of the primary dwelling floor area
 - b. Maximum 2 bedrooms/1 bathroom
 - c. No more than 1 ADU and 1 primary dwelling per R-1 lot
5. Relationship to Short-term Rentals (STRs)
 - a. Short-term rental would not be an allowable use for ADUs until the board establishes STR regulations, which are also currently under review but may take longer to finalize

Board action requested: Suggestions for changes and/or direction to prepare a draft ordinance based on these recommendations